



Strategic Planning Committee

A meeting of the Strategic Planning Committee will be held at the Forum, Moat Lane, Towcester on Monday 14 November 2022 at 2.00 pm

Agenda

1.	Apologies for Absence and Appointment of Substitute Members
2.	Declarations of Interest Members are asked to declare any interest and the nature of that interest which they may have in any of the items under consideration at this meeting.
3.	Minutes (Pages 5 - 12) To confirm the Minutes of the meeting of the Committee held on 17 October 2022.
4.	Chair's Announcements To receive communications from the Chair.
Planning Applications	
5.	WND/2022/0833 Overstone Leys, Overstone Lane, Overstone (Pages 15 - 38)
6.	WND/2022/0735 Apex Park Phase 3, Zone B, Parsons Road, Daventry, Northamptonshire (Pages 39 - 50)
7.	WNN/2022/0370 Land South of Rowtree Road and West of Windingbrook Lane (Pages 51 - 66)
8.	Urgent Business The Chairman to advise whether they have agreed to any items of urgent business being admitted to the agenda.

9. Exclusion of Press and Public

In respect of the following items the Chairman may move the resolution set out below, on the grounds that if the public were present it would be likely that exempt Public Document Pack Page 1 information (information regarded as private for the purposes of the Local Government Act 1972) would be disclosed to them: The Committee is requested to resolve: "That under Section 100A of the Local Government Act 1972, the public be excluded from the meeting for the following item(s) of business on the grounds that if the public were present it would be likely that exempt information under Part 1 of Schedule 12A to the Act of the descriptions against each item would be disclosed to them"

Catherine Whitehead
Proper Officer
4 November 2022

Strategic Planning Committee Members:

Councillor Phil Bignell (Chair)	Councillor Ann Addison (Vice-Chair)
Councillor Jonathan Harris	Councillor Rosie Herring
Councillor Stephen Hibbert	Councillor James Hill
Councillor David James	Councillor Charles Manners
Councillor Ken Pritchard	Councillor Bob Purser
Councillor Jake Roberts	Councillor Cathrine Russell
Councillor John Shephard	

Information about this Agenda

Apologies for Absence

Apologies for absence and the appointment of substitute Members should be notified to democraticservices@westnorthants.gov.uk prior to the start of the meeting.

Declarations of Interest

Members are asked to declare interests at item 2 on the agenda or if arriving after the start of the meeting, at the start of the relevant agenda item

Local Government and Finance Act 1992 – Budget Setting, Contracts & Supplementary Estimates

Members are reminded that any member who is two months in arrears with Council Tax must declare that fact and may speak but not vote on any decision which involves budget setting, extending or agreeing contracts or incurring expenditure not provided for in the agreed budget for a given year and could affect calculations on the level of Council Tax.

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fire exit. Members and visitors should proceed to the assembly area as directed by Democratic Services staff and await further instructions.

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Please ensure that any device is switched to silent operation or switched off.

Queries Regarding this Agenda

If you have any queries about this agenda please contact Diana Davies, Democratic Services via the following:

Tel: 01327 322195

Email: democraticservices@westnorthants.gov.uk

Or by writing to:

West Northamptonshire Council
One Angel Square
Angel Street
Northampton
NN1 1ED

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Strategic Planning Committee

Minutes of a meeting of the Strategic Planning Committee held at Forum, Moat Lane, Towcester on Monday 17 October 2022 at 2.00 pm.

Present Councillor Phil Bignell (Chair)
 Councillor Ann Addison (Vice-Chair)
 Councillor Rosie Herring
 Councillor Stephen Hibbert
 Councillor James Hill
 Councillor David James
 Councillor Charles Manners
 Councillor Bob Purser
 Councillor Jake Roberts
 Councillor Cathrine Russell
 Councillor John Shephard

Substitute Councillor Rosie Humphreys
 Members: Councillor Kevin Parker

Also
 Present:

Apologies Councillor Jonathan Harris
 for Councillor Ken Pritchard
 Absence:

Officers Simon Aley, Planning Solicitor
 Diana Davies, Democratic Services Officer
 Jeverly Findlay, Committee Officer
 Rebecca Grant, Major Projects Officer, Planning Department Daventry
 Paul Seckington, Head of Development Management and Enforcement

79. **Declarations of Interest**

Councillor Roberts declared an interest at Agenda Item 6, WNS.2021/1858 Land at Milton Road, Gayton, and advised that he would leave the room during the discussion and voting thereon.

80. **Minutes**

RESOLVED:

The minutes of the meeting of the Committee held on 12 September 2022 were agreed as a correct record and signed by the Chair.

81. **Chair's Announcements**

The Chair advised that only those people who had registered, in line with the Committee's speaking procedure, could address the Committee. Members of the public were requested not to call out during the Committee's discussions on any item.

82. **WNS/2022/0557/EIA - Land at Halse Road, South of Greatworth, Northamptonshire - Construction of a solar farm and battery stations together with all associated works, equipment and necessary infrastructure.**

The Senior Manager, Development Management outlined the application for full planning permission for a solar farm through the installation of ground mounted static photo-voltaic (PV) panels and associated infrastructure. Members' attention was drawn to the committee updates and that the Flood Authority had withdrawn their objections.

Members received a presentation which included maps and photographs from various vantage points of the proposed sites; the measures proposed to mitigate the visual impact on the respective areas and from public rights of way and the means of connecting the solar panels, via a new substation and connection to pylons. Photomontages were shown which illustrated the view with 15 years' worth of growth of the trees to provide screening.

In response to Member's enquiries, the Senior Manager, Development Management advised that alternative traffic routes had been explored for construction traffic. The impact on Greatworth conservation area to the north of site had been re-evaluated as the application had been amended from an earlier submission to remove solar panels on 2 fields. The Conservation team now considered that the impact on the conservation area had been greatly reduced. As a consequence, the reasons for refusal were now limited to the visual impact of the proposal. The proposal would ensure a biodiversity of 32.68% net gain for hedgerows/trees units and 70.82% net gain for habitat units; 96 letters of support and 133 letters of objection had been received from the area surrounding the solar farm. The landscape visual assessment classified the landscape as 'sensitive'.

Veronica Ward addressed the Committee in objection to the application and concurred with the case officer's findings. The application would have a significant adverse effect on the landscape and character of the area.

Mr Foote addressed the Committee in objection to the application and expressed concern that the application constituted an unacceptable loss of productive agricultural land and would have a direct impact on existing wildlife.

Mr Morris from Farthinghoe Parish Council addressed the Committee in objection to the application expressing concerns regarding the suitability of the highway route, the risk of traffic congestion in the village, the size of the solar farm and the estimated megawatt output projected.

Mr Bingham from Greatworth Parish Council addressed the Committee in objection to the application and expressed concerns regarding the siting and size of the solar

farm, that the the topography limited the mitigation measures of the visual impact and that Northampton Police had objected to the application.

Connor McAllister, for and on behalf of David Sherborn-Hoare, the landowner, addressed the Committee in support of the application and advised that the proposed application would provide an income for what was considered poor arable land. It would provide stability to ensure the continuance of the farm.

Connor McAllister, the applicant, addressed the Committee in support of the application to provide solar power in response to the national climate emergency and the current energy crisis. It would provide clean and renewal energy to assist in meeting the net zero target by 2045. The scheme would provide additional landscaping and improve biodiversity and the benefits of the scheme outweighed any harm caused.

Councillor Bignell invited Councillor Herring, Ward Member for Middleton Cheney to address the Committee, who advised on local concerns pertaining to: articulated lorries unable to negotiate turns on B4525 causing road closures, the associated health and safety risks and the impact on the surrounding area.

Members considered the Committee reports, the presentation and the representations made by the speakers and discussed; the visual impact of the proposed solar panels from various vantage points; proposed visual impact mitigation; the balance of protecting the heritage of the landscape and the need for land for agricultural purposes with the need to improve renewable energy sources; the National Planning Policy Framework guidance; the benefits of the development; the scale and volume of panels; accessibility of the site for HGV's; West Northamptonshire Council's commitment to net zero by 2045.

In response to a Member's question as to whether the HS2 contractors had been included in the consultation, the Senior Manager, Development Management undertook to provide an answer outside of the meeting. Councillor Bignell invited Hayley Usher, Development Management from Highways to remote access the meeting to answer questions; however the audio link failed. The Senior Manager, Development Management provided an update in the absence of Highways and advised that the proposed access procedures would mitigate risks associated with large vehicles and the sharp turns on the route.

Councillor Herring proposed that Officer's advice to refuse the application be accepted. The proposition was seconded by Councillor Manners and on being put to the meeting was declared carried with 8 voting in favour and 5 against.

RESOLVED:

That the application be refused for the following reasons:

The proposed development would not be sensitively located and would harm the intrinsic character and beauty of the countryside. Its scale and siting would be incompatible with its surroundings, landscaping setting, and distinctive local character. The proposed landscape treatment is not suitable to mitigate this and so

the proposed development would have a significant adverse effect on the landscape and visual character of the area. The application is therefore contrary to Paragraph 174(b) of the NPPF, Policies S10(i) and S11 of the West Northamptonshire Joint Core Strategy (LPP1), and Policies SS2(1b & 1d) and EMP6(1b) of the South Northamptonshire Local Plan (LPP2).

Councillor Roberts, having previously declared an interest in the following item, left the room and took no part in the debate.

83. **WNS/2021/1858/EIA - Land at Milton Road, Gayton, Northamptonshire
Construction of a temporary 49.72MW Solar Farm, to include the installation of Solar Panels with transformers, a substation, a DNO control room, a customer substation, GRP comms cabin, security fencing, landscaping and other associated infrastructure.**

Members received a presentation which included maps and plans from various vantage points of the proposed sites and an explanation of the measures proposed to mitigate the visual impact on the respective areas.

The Senior Manager, Development Management outlined the proposed construction route management and arrangements for HGV access during the construction phase and the subsequent storage and supply within the development. Members' attention was drawn to the amendments set out in the Committee updates.

In response to Members enquiries, the Senior Manager, Development Management advised that the Officer's analysis of the application had taken into account the proximity of the site to the canal conservation area, landscape value and whether the application would change the character of the landscape. Additional landscaping had been proposed as part of the application; however, the landscape consultant had advised that was insufficient. Natural England had initially raised objections but since mitigation measures had been secured, they had withdrawn their objection.

Roger Clarke from Gayton Parish Council addressed the Committee in objection to the application and advised the residents had significant concerns at the magnitude of the development and that 85% of them had voted against it. In response to the development the parish had produced a document outlining 11 major areas of concern, many of the concerns remain unaddressed by the applicant.

Councillor Cooper, the ward member for Bugbrooke addressed the Committee in objection to the application whilst acknowledging the importance of renewable energy. Councillor Cooper raised concerns that the applicant had not satisfied the question of how the power generated would be fed into national grid. The application would adversely effect the landscape and the renewable energy that would be provided was not sufficient to outweigh the harm it would cause. The land was productive in agricultural terms as it was classed as grade 3a and 3b. The area provided a quintessential rural landscape. Residents considered that both of the proposed developments sites were contentious and each would have a significant impact on the grand union canal.

Dr Jonathan Taylor, addressed the committee and read out a statement which provided the opinion and sentiment expressed by Mr Jens Buus, a supporter of the application. Mr Buus expressed concerns regarding the handling of the application, omissions, inconsistencies and errors in the committee report and asked that the decision be deferred. In response to Members' queries, the Senior Manager, Development Management advised that the concerns referred to in Mr Buus' statement had been addressed on Page 8 of the written updates.

Laura Murphy, the applicant, addressed the Committee and advised that the application would improve energy security and was consistent with the government targets for carbon reductions. The land had been carefully selected, it was not a sensitive site in landscape terms, and additional visual impact mitigation had been included to enhance the existing screening around the canal.

The applicant in response to Members enquiries, confirmed that the solar panels would be connected by underground cables to the substation to the north east of the site and further clarified that it could be arranged for the cables to be directionally drilled under the railway and canal. The solar panels would be raised up to 2.3 metres off the ground to avoid major equipment being flooded.

Councillor Bignell invited Councillor Addison, Ward Member for Bugbrooke to address the Committee. Councillor Addison stated that she supported sustainable energy, but it had to be in the right place. Gayton was a small rural village located on the top of the hill and the solar panels would be visible. Councillor Addison raised concerns that: the site was next to the canal conservation area; the proposal would lead to a loss of productive farmland; the bridge over the canal had a weight limit and was unsuitable for HGV traffic.

Councillor Hill considered that the proposal would impact on the conservation area proposed that Officer's advice to refuse the application be accepted. The proposition was seconded by Councillor Parker and on being put to the meeting was declared carried unanimously.

RESOLVED:

That the application be refused for the reasons set out in report:

Owing to the location and size of the site the magnitude of change would result in major and moderate adverse effects on landscape and visual character, both on site and in the local context. The proposed mitigation measures would not overcome the harmful landscape and visual effects for the landscape type at the site and its surrounding quintessential rural agricultural character. This is a significant adverse effect that makes the application contrary to paragraph 174(b) of the NPPF, Policies S10(i) and S11 of the West Northants Joint Core Strategy Local Plan (LPP1) and Policies SS2(1b and 1d) and EMP6(1b) of the South Northamptonshire Local Plan Part 2 (LPP2)

At 4.30 pm the Committee adjourned for a comfort break and reconvened at 4.45 pm.

Councillor Roberts returned to the meeting.

84. **WND/2021/0860 Land at corner of Sywell Road/Kettering Road, Overstone - Hybrid application for detailed approval for site access, provision of petrol filling station with convenience store, two food & drink units (with drive-thru lanes), retail units & 119 parking spaces & public access routes. Outline application (with matters of scale, access & layout to be determined) for an employment unit; a nursery, 21 parking spaces and public access routes**

The Major Projects Officer explained that the application fell within Overstone Leys local centre, however it was outside of the parameters of the 2015 outline consent. It was a standalone hybrid application, with a mixture of a full and outline application. Concerns had been received from residents with regards to this application including highway safety, proposed uses and sustainability, and a petition containing 234 signatures had been received.

The Major Projects Officer advised that whilst provision had been made in the outline consent for 'hot food outlets' it had been envisaged that these would be small retail units. West Northamptonshire Joint Core Strategy, (WNJCS) Policy N3 defined a 'local centre' as including local retail facilities of an appropriate scale (including a convenience store), health care services and community facilities. It was noted that the Highway Authority had withdrawn their objections. However Public Health Northamptonshire had objected due to the proximity of the proposed takeaways to the new school.

Insufficient evidence had been provided as to whether the application would result in unacceptable noise levels. There was also insufficient evidence that the proposal would result in a net gain of biodiversity and therefore was contrary to the Daventry Local Plan (Part 2).

John Austin from Overstone Parish Council addressed the Committee in objection to the application as it would not provide a local community centre. Concern was expressed for the risks associated with the sustainability of a second service station in the area and the resultant contamination of the land. There was already considerable traffic congestion in the area.

David Arrons from Moulton Parish Council addressed the Committee in objection to the application and raised concerns regarding the proposed fast food outlets which would be in close proximity to the new school opening in the following year.

Sophie Drury, the Agent, addressed the Committee and advised that the mix use components of local centre would be deliverable in the short term, as businesses had already expressed an interest. A detailed noise assessment had been carried out to assess the impact on residents and the opening hours reduced. The applicant would work with the Wildlife Trust to increase biodiversity.

The Agent, in response to Members queries, advised that no expressions of interest had been received for the provision of a public house on the site and therefore the application had been amended to remove it.

Councillor Bignell invited Councillor Shepherd, Ward Member for Moulton to address the Committee. Councillor Shepherd considered that the application was not in line with provision of a local centre as required in the outline application.

Councillor Shepherd proposed that Officer's advice to refuse the application be accepted. The proposition was seconded by Councillor James and on being put to the meeting was declared carried unanimously.

RESOLVED:

That the application be refused for the reasons set out in the report.

85. **Urgent Business**

There were no items of urgent business.

The meeting closed at 5.08 pm

Chair: _____

Date: _____

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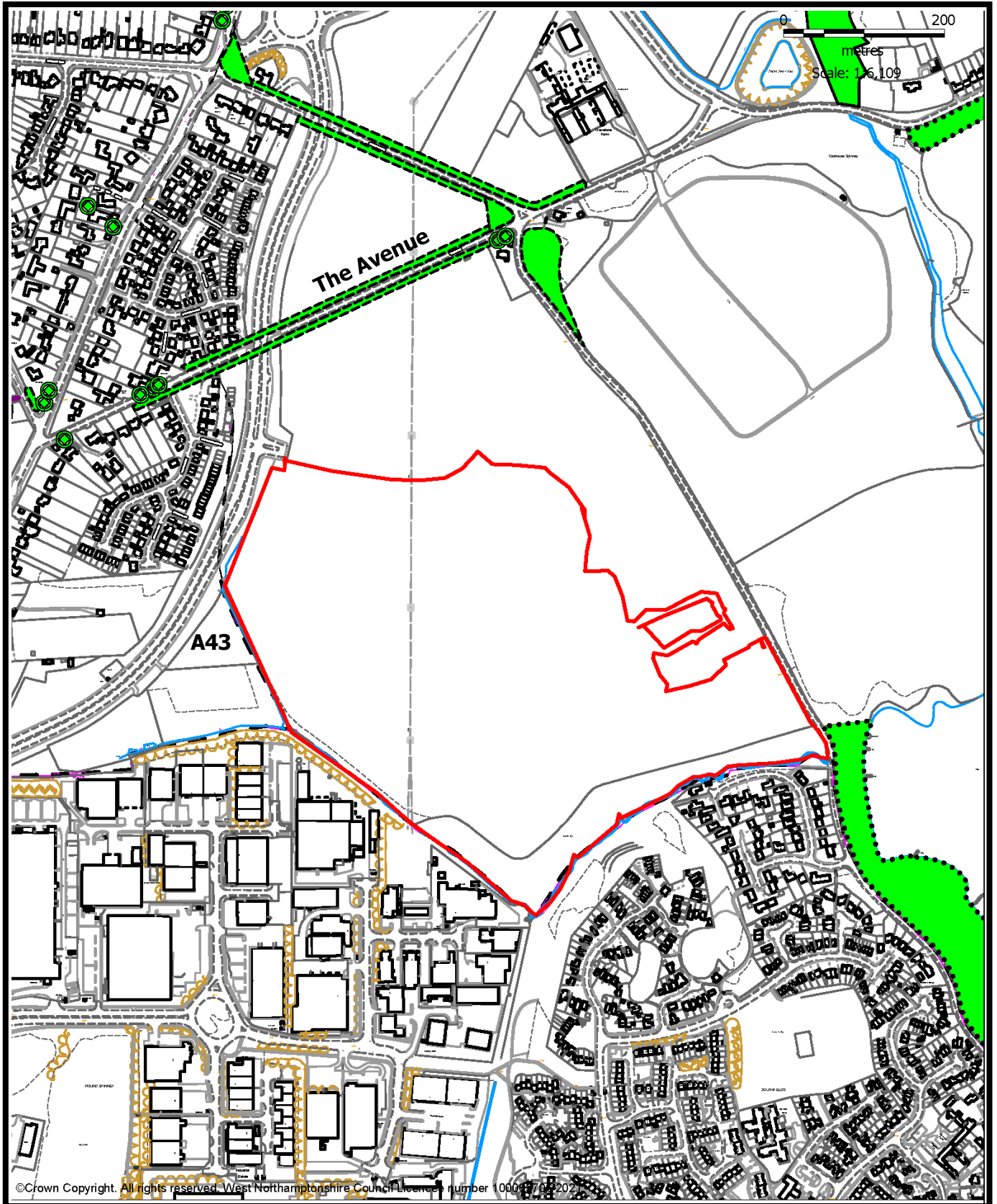
West Northamptonshire Council
Strategic Planning Committee
14 November 2022

Agenda Item	Ward	Application Number	Location	Recommendation	Officer
5	Moulton	WND/2022/0833	Overstone Leys, Overstone Lane, Overstone	*Grant Permission	Rebecca Grant
6	Braunston and Crick	WND/2022/0735	Apex Park Phase 3, Zone B, Parsons Road, Daventry, Northamptonshire	*Grant Permission	Eamon McDowell
7	East Hunsbury and Shelfleys	WNN/2022/0370	Land South of Rowtree Road and West of Windingbrook Lane, Northampton	*Grant Permission	Adam Walker

*Subject to conditions

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Parish: Moulton/Overstone



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Town/Village: Overstone

Site Area: 34.6ha

Grid Location: SP 265641 479478

Map Scale: 1:5,000

- Site
- ◊ TPO Tree
- TPO Wood
- TPO Group
- TPO Area
- Parish
- Page 15

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Application Number: WND/2022/0833

Location: Overstone Leys, Overstone Lane, Overstone

Development: Reserved matters application (access, appearance, landscaping, layout and scale) pursuant to outline planning permission DA/2013/0850 for 350 dwellings (Zone 10) **and approval of Condition 26 (Noise)** - resubmission of application WND/2021/0172

Applicant: Vistry Group

Agent: McBains

Case Officer: Rebecca Grant

Ward: Moulton

Reason for Referral: Relates to Overstone Leys Sustainable Urban Extension

Committee Date: 14/11/2022

EXECUTIVE SUMMARY OF PROPOSALS AND RECOMMENDATION

RECOMMENDATION: GRANT PERMISSION SUBJECT TO CONDITIONS

Proposal

The application is a reserved matters application for 350 dwellings (phase 10) within the southern part of the Overstone Leys Sustainable Urban Extension (SUE). The site proposes a total of 92 affordable units which is 26% of the units, of which 70% will be affordable rent and 30% will be shared ownership.

This application is a resubmission of application WND/2021/0172 which was refused at the May 2022 Strategic Planning Committee on grounds that noise had not been adequately addressed.

Consultations

The following consultees have raised **objections** to the application:

- none

The following consultees have raised **no objections** to the application:

- WNC Environmental Health, WNC Policy Officer, WNC Archaeology, Highways

No representations have been received.

Conclusion

The application has been assessed against the relevant policies in the NPPF, the adopted Local Plan and other relevant guidance as listed in detail at Section 8 of the report.

The key issues arising from the application details are:

- Principle of Development
- Character of Development
- Highway Safety
- Impact upon Residential Amenity
- Landscape and Open Space
- Affordable Housing
- Noise
- Ecology

The report looks into the key planning issues in detail, and Officers conclude that the proposal is acceptable subject to conditions.

Members are advised that the above is a summary of the proposals and key issues contained in the main report below which provides full details of all consultation responses, planning policies, the Officer's assessment and recommendations, and Members are advised that this summary should be read in conjunction with the detailed report.

MAIN REPORT

1. APPLICATION SITE AND LOCALITY

- 1.1 Overstone Leys is located to the north of Northampton.
- 1.2 Outline planning permission (ref DA/2013/0850) was approved in 2015 for the Sustainable Urban Extension (SUE) which comprises up to 2,000 dwellings, with access, appearance, layout and scale unreserved for the first phase of 200 dwellings.
- 1.3 The first phase was split into two sections phases 1A (104 dwellings) and 1B (96 dwellings). Construction of the approved Phase 1A development has been completed. Planning permission was granted in 2019 for the primary infrastructure to Zone 2 and 207 dwellings within Zone 2. Work has progressed on site and a number of dwellings are occupied. Planning permission has also been granted for Zone 3, 4, 5, 8, 9 and a small element of 10.
- 1.4 The application forms Zone 10 of the overall SUE. The site lies to the south of The Avenue. The A43 forms the western boundary of the site, The Avenue is to the north and the approved Taylor Wimpey development for 350 dwellings (Zone 9) to the east. To the south is a large, mature tree belt beyond which is the established residential area of Crabb Tree Drive and Pine Ridge. Land levels fall considerably in the southern section of the application site. An industrial estate lies to the south west of the application site.
- 1.5 Planning permission was granted for 69 dwellings (reference WND/2022/0234) in relation to Zone 10 which forms a smaller part of this application.

2. CONSTRAINTS

- 2.1. There is a row of trees with Tree Preservation Orders attached to them along The Avenue.
- 2.2. Pytchley Gates are positioned to the north east of the application site on the junction of Billing Lane, Overstone Lane and Sywell Road. Pytchley Gates are Grade II listed

(formerly listed as Gateway to Overstone Park, originally of Pytchley Old Hall). The gates are located over 300m from the application site.

3. DESCRIPTION OF PROPOSED DEVELOPMENT

3.1. The application is a Reserved Matters Application within Zones 10 of the SUE. The proposal is for 350 dwellings of which 92 units will be affordable. This equates to 26% affordable units.

3.2. The scheme will deliver:

Market dwellings;
 2 bed x 14 units
 FOG x 1 unit
 3 bed x 129 units
 4 bed x 78 units
 5 bed x 27 units

Affordable rent;
 One bed x 14 units
 Two bed x 41 units
 Three bed x 33 units
 Four bed x 4 units

3.3. Access to the site will be from the A43 to the west. This spine road links to the spine road within the northern section of the SUE which already has planning permission and has been constructed, although not yet fully opened (planning application reference DA/2019/0067). Planning permission has now been approved for the spine road (WND/2021/0132). The spine road will provide a bus route through the development which will link to the wider Overstone Leys SUE. A number of bus stops are proposed along the route.

3.4. Secondary routes are taken off the main spine road. There is clear hierarchy of road typologies across the site, down to private driveways.

3.5. The site contains an area of open space in the northern part of the site, a smaller parcel in the western part of the site and a larger area of open space to the south of the application site together with a drainage basin.

4. RELEVANT PLANNING HISTORY

4.1. The following planning history is considered relevant to the current proposal:

Application Ref.	Proposal	Decision
DA/2013/0850	Outline application of up to 2000 dwellings, with access, appearance, layout and scale unreserved for the first phase of 200 dwellings; a new section of A43 dual carriageway road; up to 3.83ha for a local centre incorporating provision for a Use Class A1 foodstore (up to 2,000 sqm), Class A4 public house (up to 650 sqm), Class C2 care home (up to 2,800 sqm), Class D1 day nursery (up to 465 sqm),	Approved 28.08.2015

	Class D1 medical centre (up to 750 sqm), a parade of 5 retail units (Classes A1, A2, A3, A5 and D1) (up to 450 sqm), Class B1(c) light industry (up to 5,000 sqm); a new primary school (up to 3,150 sqm); public open space provision to include outdoor sports pitches, allotments and children's play space; structural landscape planting; associated infrastructure, including drainage features and access	
DA/2015/0263/NCC	Construction of a 2.5 kilometre dual carriageway (A43 Bypass) and associated landscaping, drainage and infrastructure works	No objection
DA/2016/0082	Surface water attenuation scheme in relation to Phase 1A & B of Overstone Leys development, including re-profiling of existing ditch, construction of connection ditch and balancing pond	Approved 14.04.2016
NMA/2016/0084	Non material amendment to application to application DA/2013/0850 (Outline application for up to 2000 dwellings) Change of house types for Phase 1 – approved 20.02.17 DA/2013/0850 (Outline application for up to 2000 dwellings) Change to house types	Approved 20.02.2017
DA/2017/0010	Reserved matters application for 96 dwellings (including 14 affordable); open space; landscaping and infrastructure	Approved 26.10.2017
NMA/2017/0036	Non material amendment to application DA/2013/0850 (Outline application for up to 2000 dwellings) to revise house types (New Plot Nos 20-34 (inclusive) and 47-53 (inclusive)) and amend layout	Approved 14.06.2017
NMA/2017/0082	Non material amendment to application DA/2013/0850 (outline application for up to 2000 dwellings) to revise access arrangement for Phase 1A – approved 12.10.17 DA/2017/1262 Construction of a 2.5 kilometre dual carriageway (A43 Bypass) and associated landscaping, drainage and infrastructure works	Approved 20.06.2018
NMA/2018/0077	Non material amendment to planning consent 15/00022/CCDFUL for the replacement of acoustic bund – withdrawn DA/2019/0067 Reserved matters application (access – primary infrastructure or Phase 2) pursuant to Condition 1 of outline planning approval DA/2013/0850 granted approval on 27.08.2015 for outline application of up to 2000 dwellings	Approved 15.04.2019
DA/2019/0067	Reserved matters application (access – primary infrastructure for Phase 2) pursuant to Condition 1 of outline planning	Approved 04.07.2019

	approval DA/2013/0850 granted approval on 27.08.2015	
DA/2019/0260	Reserved matters application (appearance, landscaping, layout and scale) for construction of 207 dwellings (Phase 2) pursuant to Condition 1 of outline planning permission DA/2013/0859 in addition to the discharge of Condition 19 (surface water drainage)	Approved 24.10.2019
DA/2020/0490	Reserved matters application for 172 dwellings and supporting infrastructure including details of appearance, landscaping, layout and scale pursuant to outline approval DA/2013/0850 and approval of Condition 36 (Bus Stops), Condition 37 (Travel Plan) and Condition 38 (Public Rights Of Way).	Approved 17.03.2021
DA/2020/0950	Construction of 66 bedroom care home with associated access, car parking and landscaping	Approved 26.04.2021
DA/2020/1034	Reserved matters application (access, appearance, landscaping, layout and scale) relating to application DA/2013/0850 for the erection of a food store within the local centre, including discharge of Condition 18 (foul water disposal), Condition 19 - partially discharged (surface water drainage), Condition 20 (ground investigation), Condition 23 (closure report), Condition 25 (ground gas) and Condition 43 (Compensatory Habitat Creation)	Approved 27.04.2021
DA/2020/1178	Reserved matters application (access, appearance, landscaping, layout and scale) for 129 dwellings within Zone 5 pursuant to outline approval DA/2013/0850 and approval of Condition 14 (finished floor levels), Condition 15 (soft landscaping), Condition 18 (foul water drainage), Condition 26 (acoustic report), Condition 30 (fire hydrants), Condition 37 (travel plan), Condition 39 (arrangements for management and maintenance of proposed streets), Condition 41 (external lighting plan), Condition 42 (soil management plan) and Condition 43 (compensatory habitat creation and management scheme).	Refused 29.10.2021
WND/2021/0132	Reserved matters application (access - primary infrastructure for Zone 9) pursuant to Condition 1 of outline planning approval DA/2013/0850 granted approval on 27.08.2015.	Approved 29.10.2021
WND/2021/0152	Reserved matters application (access, appearance, landscaping, layout and	Approved 29.10.2021

	scale) for 350 dwellings (Phase 9) pursuant to outline approval DA/2013/0850 and approval of Condition 14 (finished floor levels), Condition 15 (details of open space), Condition 26 (internal noise levels), Condition 36 (Bus stops), Condition 37 (Travel Plan) and Condition 41 (external lighting)	
WND/2021/0700	Reserved matters application – Zone 4 – 229 dwellings including details of appearance, landscaping, layout and scale pursuant to outline approval DA/2013/0850 and approval of Conditions 15 (open space), 36 (bus stops), 37 travel plan) and 38 (public rights of way).	Approved 18.08.2022
WND/2021/0172	Reserved matters application (access, appearance, landscaping, layout and scale) for 350 dwellings (Zone 10) pursuant to outline approval DA/2013/0850 and approval of Condition 26 (noise) and Condition 37 (travel plan)	Refused 10.05.2022
WND/2021/0860	Hybrid application for detailed approval for site access, provision of petrol filling station with convenience store : two food & drink units (with drive-thru lanes), retail units & 119 parking spaces & public access routes. Outline application (with matters of scale, access & layout to be determined) for an employment unit; a nursery, 21 parking spaces and public access routes.	Refused 27.10.2022
WND/2022/0234	Reserved matters application (appearance, layout and scale) for construction of 69 dwellings (Zone 10) pursuant to outline approval DA/2013/0850 and approval of Condition 26 (noise)	Approved 22.09.2022
WND/2022/0770	Reserved matters application (appearance, layout and scale) for construction of 223 dwellings on zone 4	To be determined

5. RELEVANT PLANNING POLICY AND GUIDANCE

Statutory Duty

- 5.1. Planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise.

Development Plan

- 5.2. The Development Plan comprises the West Northamptonshire Joint Core Strategy Local Plan (Part 1) which was formally adopted by the Joint Strategic Planning Committee on 15th December 2014 and which provides the strategic planning policy framework for the District to 2029, the adopted Daventry Local Plan (Part 2) and adopted Neighbourhood

Plans. The relevant planning policies of the statutory Development Plan are set out below:

West Northamptonshire Joint Core Strategy Local Plan (Part 1) (LPP1)

5.3. The relevant policies of the LPP1 are:

- SA Presumption in Favour of Sustainable Development
- S1 Distribution of Development
- S10 Sustainable Development Principles
- H1 Housing Density and Mix and Type of Dwellings
- H2 Affordable Housing
- N3 Northampton North Sustainable Urban Extension
- C1 Changing Behaviour and Achieving Modal Shift
- C2 New developments
- BN1 Green Infrastructure Connections
- BN2 Biodiversity
- BN7 Flood Risk
- BN9 Planning for Pollution Control

Daventry Local Plan (Part 2) (LPP2)

5.4. The relevant policies of the LPP2 are:

- H08 Housing Mix and Space Standards
- CW1 Health and Well Being
- CW2 Open Space Requirements
- ST1 Sustainable Transport Infrastructure
- EN1 Landscape
- ENV4 Green Infrastructure
- ENV5 Biodiversity
- ENV10 Design

Neighbourhood Plan (NHP)

5.5. Overstone have prepared a Neighbourhood Plan which was 'made' on 3.12.2021.

Material Considerations

5.6. Below is a list of the relevant Material Planning Considerations

Supplementary Planning Guidance e.g. SPG on house extensions etc.
National Policies the National Planning Policy Framework (NPPF)
Chapter 2 Achieving sustainable development
Chapter 5 Delivering a sufficient supply of homes
Chapter 8 Promoting healthy and safe communities
Chapter 12 Achieving well-designed places

Technical Housing Standards – Nationally Described Space Standard (NSS, 2015)
National Design Guide 2019
Northamptonshire Parking Standards 2016
Local Highway Authority Standing Advice 2016

Daventry Supplementary Planning Documents
Biodiversity Supplementary Planning Document (2017)

6. RESPONSE TO CONSULTATION

Below is a summary of the consultation responses in regards to the second round of consultation received at the time of writing this report. Responses are available to view in full via the online Planning Register.

Consultee Name	Position	Comment
Moulton Parish Council		No comments received at time of drafting the report.
Overstone Parish Council		No comments received at time of drafting the report.
WNC Local Highway Authority	No objection	All matters relating to the highway layout and access were resolved to the LHA's satisfaction during consultation for WND/2021/0172. As this new application is a re-submission of the same plans, the LHA has no further comments to make. The Travel Plan has previously been reviewed and approved.
WNC Environmental Health	No objection	Satisfied that Condition 26 can be discharged.
WNC Landscape Officer		No comments received at time of drafting the report.
WNC Strategy Team	No objection	The Local Strategy Service made comments on the previous application (WND/2021/0172) on the following issues: Design of the proposal to respond positively to the site's characteristics and context and be in accordance with the approved Design Code for Overstone Leys. Amount of affordable housing is satisfactory, tenure split is also fine and meets the mix requested by the Affordable Housing Officer. Clustering arrangements are also fine. Question over whether the national space standards are being met. Providing you are satisfied that the proposal is meeting point 1, we have no further comments to make.
Crime Prevention		No comments received at time of drafting

Design Advisor		the report.
Archaeology	No comments to make	The archaeological fieldwork has been satisfactorily completed in this zone.
Ecology	Raises concerns	The Ecological Constraint note is two years old, so the findings are out of date. Given the length of time that has elapsed, a pre-commencement badger check would not suffice so an updated survey is warranted.

7. RESPONSE TO PUBLICITY

7.1. No representations have been received.

8. APPRAISAL

Principle of Development

8.1. The application site falls within the policy N3 allocation of the WNJCS. Policy N3 states that the development will make provision for:

- In the region of 3,500 dwellings;
- Primary school provision to cater for the needs of the development;
- A total of approximately 10ha of land for local employment opportunities;
- At least one local centre to include local retail facilities of an appropriate scale (including a convenience store), health care services and community facilities;
- A contribution towards the provision of a high quality public transport corridor to Northampton town centre;
- A local multi modal interchange;
- A43 corridor mitigation measures
- An integrated transport network focused on sustainable transport;
- Structural greenspace and wildlife corridors
- Sports and leisure provision;
- Archaeological and ecological assessment of the site and required mitigation; and
- Flood risk management

8.2. The principle of the development on this site was established through the granting of outline planning permission in 2015 (planning application reference DA/2013/0850). Planning permission was granted for;

Outline application of up to 2000 dwellings, with access, appearance, layout and scale unreserved for the first phase of 200 dwellings; a new section of A43 dual carriageway road; up to 3.83ha for a local centre incorporating provision for a Use Class A1 foodstore (up to 2,000 sqm), Class A4 public house (up to 650 sqm), Class C2 care home (up to 2,800 sqm), Class D1 day nursery (up to 465 sqm), Class D1 medical centre (up to 750 sqm), a parade of 5 retail units (Classes A1, A2, A3, A5 and D1) (up to 450 sqm), Class B1(c) light industry (up to 5,000 sqm); a new primary school (up to 3,150 sqm); public open space provision to include outdoor sports pitches, allotments and children's play

space; structural landscape planting; associated infrastructure, including drainage features and access.

- 8.3. The application is considered to be in accordance with Policy N3 of the WNJCS. Other material considerations are discussed below, with all considerations weighed in the planning balance at the end of the report.

Impact upon character of the area

- 8.4. The principle of the layout was established through discharging Condition 12 attached to the outline planning permission (ref DA/13/0850). Condition 12 required a Design Code to be submitted and approved prior to any works commencing to the east of the A43.
- 8.5. The Design Code set parameters for the subsequent phases of development, for example, setting out different frontages e.g. A43 Corridor, Primary Streets, General Neighbourhood and Rural Edge. It also established street hierarchy and sets out generic design principles.
- 8.6. The Design Code Regulating Plan indicates that the application site falls within four character areas, A43 frontage, Primary frontage, General neighbourhood and Rural Edge
- 8.7. The A43 is characterised by;
- Higher proportion of terraces/semi-detached
 - Predominately front gardens
 - Small gaps between buildings
 - Contemporary design
 - Consistent detailing
 - Limited materials palette (Primary red/Secondary up to 40% buff – grey/red roof tiles)
- 8.8. The Primary Street is characterised by;
- Semi-detached/terraces/some large detached
 - Symmetry and formality
 - Regular set backs
 - Boulevard trees with regular spacing
 - More contemporary design
 - Limited materials palette (Primary red/Secondary up to 20% buff, up to 20% render – grey/red roof tiles)
- 8.9. The General Neighbourhood is characterised by;
- Detached/semi, limited terraces
 - Varied gaps between dwellings
 - More informal setback
 - Varied parking arrangement
 - Traditional design
 - Broad materials palette (buff/timber/weatherboard/red/render)
- 8.10. The Rural Edge is characterised by;
- Large detached
 - Informal arrangement
 - Shared drives
 - Detached garages
 - Traditional design

- Varied detailing
 - Broad materials palette (recon stone, buff, red, timber/weather board – red/grey roof tiles)
- 8.11. The overall layout for the site is largely in accordance with the approved Design Code. The design approach creates distinct character zones across the site, each with different features and characteristics which help to break up the mass of the development and help with wayfinding across the site. The key principle which help to demonstrate the legible and well connected approach to the design;
Well defined linear form of development addressing A43 corridor and Primary Street frontage.
Hierarchy of street types with distinctive character and surface treatments.
Gateway buildings and key areas to aid way finding and act as visual focal points.
Generally permeable layout, balanced with some non-through routes.
- 8.12. Along the A43 corridor building typologies predominately comprise smaller units arranged in blocks of mainly semi-detached properties with primary frontage parking. Occasional detached units are plotted at corner location. There are small gaps between dwellings. Dark casement windows with clean and simple lines combined with dark fascias and a limited and simple materials palette, contribute to a more contemporary architectural style.
- 8.13. With regards to the Primary Frontage, buildings are typically semi-detached 2 storey with regular gaps and set back behind parallel private drives. A key feature of this frontage is symmetry and formality of the building line. All parking is to the side of dwellings. Dark full height windows are proposed to add a distinctive character to the area.
- 8.14. The dwellings within the General Neighbourhood are typically 2 storey arranged in a variety of continuous and broken frontages. The building lines are consistent within groups which will enhance the key areas of development defining some formal groupings. There is a greater variation in street typology, varied gaps between buildings and varied parking arrangements.
- 8.15. Finally, larger units are proposed along the rural edge arranged in a more informal setting around the edges of the development facing the public open space. Regular gaps are proposed between dwellings with variation in the ridge line and set back. Detached dwellings are proposed with properties arranged mainly along private drives.
- 8.16. With regards to density, Policy H1 of the WNJCS requires development within SUE's to achieve a minimum average density of 35 dwellings per hectare. The density varies between character areas with the area fronting the A43 having the greatest density however this is 34 dwellings per hectare. Whilst this is slightly less than the policy requirement of Policy H1 of the WNJCS of 35dph, the level of density is considered to be appropriate for the development area given the constraints of the site.
- 8.17. It is considered the design of the layout is acceptable. It will provide a variety of house types in order to create an interesting residential environment and one which has character and should provide legibility.
- 8.18. In order to ensure that the materials palette is acceptable, a condition is proposed to require details and samples of materials to be submitted.
- 8.19. It is considered that the scheme now accords with the principles set out in the Design Code and as such is in accordance with Policy ENV10 of the Daventry Local Plan (Part 2).

Impact on Highway Safety

- 8.20. Policy C1 of the WNJCS states that priority will be given to proposed transport schemes that will contribute towards behavioural change by, inter alia, providing access by walking, cycling and public transport, maximising the use of existing capacity within the transport infrastructure and managing the demand for car based travel within urban area.
- 8.21. Policy C2 of the WNJCS expects new development to achieve modal shift targets set out in the JCS by maximising travel choices from non-car modes.
- 8.22. A Transport Assessment was approved under the outline planning application. This reserved matters application is in accordance with the principles established under the outline consent and approved Transport Assessment.
- 8.23. An access link to Billing Road to the east has not been provided on the advice of the LHA in order to avoid creating a cut through which would likely be heavily used and not designed for this level of traffic.
- 8.24. A bus gate was also suggested during the outline stage and indicated in the Design Code. This has also been removed from the scheme at the advice of the LHA. As a result, the road design here has been downgraded as it will no longer need to meet the requirements for a bus route. The bus route serving the development will therefore follow the spine road.
- 8.25. The LHA have also noted that the bus stops locations as laid out in the S106 Agreement mean that all of the development is located within 400m of a bus stop and therefore the bus route also no longer has to go around the primary road loop through the southern part of the development.
- 8.26. WNC Highways have made a number of comments on the application and have been involved throughout the consultation process. A number of amendments have been made to take account of comments raised by Highways with regards to highways safety.
- 8.27. WNC Highways approve the submitted Travel Plan and are satisfied that the condition can be discharged.
- 8.28. Parking has been designed in accordance with Northamptonshire Highway Parking standards. Parking is accommodated in the following ways;
Largely on-plot behind building line.
To the front of each dwelling in block of 4 allowing at least 2.7m between each group to enable correct design of dropped kerb and adequate landscape strips.
- 8.29. WNC Highways have confirmed that the revised layout has addressed all previous comments raised and as such is acceptable.
- 8.30. Subject to final approval of WNC Highways, given that there are no highway reasons to warrant refusal of the application, the application is considered to be acceptable.

Impact upon residential amenity

- 8.31. The layout has been assessed to ensure that distances between habitable windows conform to our guidelines to prevent issues of overlooking. The nearest existing residential properties lie to the south of the site within South Fields Park residential area. The dwellings are over 100m from the boundary of the site and there is a significant tree

screen forming the southern boundary. There are therefore no issues of overlooking from existing properties with the application site.

- 8.32. The application forms part of the southern development area where Zones Phase 9 and 10 are positioned. A reserved matters application for Zone 9 (WND/2021/0152), which is also for 350 dwellings, was approved at the October 2021 Strategic Planning Committee. The dwellings within this application form the closest properties to the application site. There are no issues of overlooking between phases 9 and 10 as minimum separate distances are complied with.
- 8.33. A significant constraint on the site is the difference in levels. The ground levels fall away to the east and south of the site and also west to east. The site has been designed to take account of the levels with dwellings being offset from each other, having tiered gardens, pushing back distances between properties as far as possible and removing the need for retaining walls. Sections have been provided to illustrate the relationship between dwellings. Four different sections have been provided to illustrate how boundary treatments will be dealt with around the site. Officers raised concern with the use of potentially 3m high retaining walls as well 1.8 boundary. Rather than use retaining walls where levels are most significant, the applicants propose to tier the gardens for both properties. This prevents overlooking from the properties on the upper side and creates private amenity space for residents. This results in the boundary only being a standard 1.8m close boarded fence with 0.3m trellising. A drawing has been provided to illustrate which section will be used in which scenario.
- 8.34. A plan has been provided as a number of dwellings to not have gardens 10m in length. The plan is to illustrate that whilst the length of the garden may not be 10m, the overall size of the garden is sufficient to meet the needs of the occupiers and does not result in any issues of overlooking. For example, there are a number of corner dwellings which have gardens to the side of the property. Whilst the length does not meet 10m, the overall area is in excess of 60sqm and there are no properties to the rear which prevents issues of overlooking.
- 8.35. On balance, it is considered the layout has been designed to take account of levels and how dwellings will relate to each other in terms of overlooking and overshadowing. It is therefore considered that the proposal is in accordance with Policy ENV10 of the Daventry Local Plan (Part 2).

Landscape and Open Space

- 8.36. Policy ENV1 is concerned with ensuring that the proposal maintains the distinctive character and quality of the District's landscapes. ENV4 also aims to protect, enhance and restore the District's green infrastructure network, again relating to the Spinney and ensuring that an appropriate network of green infrastructure leads from the Spinney through the development linking on-site greenspace.
- 8.37. The approved indicative Masterplan sets out the principles of development and provides an indication of where open space will be located. There is also a plan (Plan 2) attached to the S106 which outlines where open space will be provided. Unfortunately there are no figures in the S106 or conditions attached to the planning permission which set out the precise level of open space however an indication is provided within the committee report and within the plans in the S106.
- 8.38. To the south of the site four drainage ponds are proposed, one is existing and three are new ones to be created. The existing pond will be the only wet pond (as is currently). The other three ponds will be dry for the majority of the time and will only be wet in

extreme weather conditions. Due to the level differences, the dry ponds may not be easily accessible for play, they will however provide an attractive environment for residents and can be used for leisure activities.

- 8.39. Given that the scheme complies with the parameters set in the outline planning approval and additional incidental open space has been provided, it is considered that the level of open space is sufficient for the development.
- 8.40. To the south of the application site, the Design Code and masterplan indicate a pedestrian link to Southfields playing field. The applicants are providing a pedestrian link to the site boundary (i.e. all within their site boundary). There are desire lines through the site and woodland that connect into the site. A formal footpath (with lighting) provides a connection to Crabb Tree Drive. Residents can then make their way using the existing footpath network to the playing fields.
- 8.41. Our Landscape Officer has been involved with the application and has no objection in principle to the proposals.
- 8.42. Given that the scheme complies with the parameters set in the outline planning approval with regards to open space and landscaping and the details have been approved under application WND/2021/0152, it is considered that the landscaping details are acceptable and as such in accordance with ENV1 of the Daventry Local Plan (Part 2).

Affordable Housing

- 8.43. The site falls within West Northampton Joint Core Strategy (WNJCS) policy H2 (Affordable Housing) which states that on all housing development of five or more dwellings in Northampton Related Development Area (NRDA), 35% should be provided as affordable housing.
- 8.44. The applicants have previously submitted an affordable housing viability assessment stating that the Overstone Leys development will not be financially viable if they are required to provide 35% affordable housing. The Council employed an external consultant to verify the applicant's viability report. The conclusions of the report confirmed that the quantum should be reduced to 15%. Therefore, on a scheme of 350 dwellings we would expect 53 affordable housing units to be provided.
- 8.45. The scheme will provide 92 affordable units which comprise;

Type	Affordable Rent	Shared Ownership	Total
1 bed house	14	0	14
2 bed house	27	14	41
3 bed house	20	13	33
4 bed house	3	1	4
Total	64	28	92

- 8.46. The proposed mix aligns with the latest housing needs evidence which indicates the greatest need is for 2 bed and 3 bed dwellings, followed by 1 bed dwellings and a lesser number of 4 bed dwellings.
- 8.47. Policy H04 of Daventry's Housing SPD specifies a housing tenure mix of 70% rented and 30% intermediate housing. Viability work undertaken for the outline application was based on this mix. The mix for the whole of the development has been agreed recently.

It was agreed to take an overall development approach and to allow flexibility in the phases to allow more affordable to be delivered near the local centre.

- 8.48. 64 of the units are to be shared ownership and 28 units are to be affordable rent.
- 8.49. The Affordable Housing Officer has confirmed acceptance of the approach and mix proposed. It is therefore considered the proposal is in accordance with the principles of Policy H2 of the WNJCS.

Internal noise levels – Condition 26

- 8.50. Policy S10 of the JCS requires new development to minimise pollution from noise.
- 8.51. The NPPF, paragraph 180, states that planning policies and decisions should ‘mitigate and reduce to a minimum potential adverse impacts resulting from noise from new development and avoid noise giving rise to significant adverse impacts on health and the quality of life’.
- 8.52. Noise was assessed through the outline planning application in the Environmental Statement. Condition 26 on the outline planning permission states;

“Prior to the commencement of the development of each phase hereby approved, a scheme to demonstrate that the internal noise levels within the residential units of that phase will conform to the guideline values for indoor ambient noise levels under background ventilation rates as identified within BS 8233 2014 - Guidance on Sound Insulation and Noise Reduction for Buildings, shall be submitted to and approved in writing by the Local Planning Authority. External living area (gardens) noise levels shall conform to World Health Organisation (W.H.O):1999 guidelines – 50-55dB LAeq,16hr. The work specified in the approved scheme shall then be carried out in accordance with the approved details prior to occupation and be retained thereafter”.

- 8.53. WNC Environmental Health Officer raised a number of concerns with the previous application (WND/2021/0172) and the application was refused on the following grounds;

“The proposal is contrary to Policy BN9 of the West Northamptonshire Joint Core Strategy which requires new developments which are likely to result in exposure to sources of pollution to demonstrate they provide opportunities to minimise and where possible reduce pollution issues that are a barrier to achieving sustainable development and healthy communities. In this case the proposed design of the residential scheme would result in unacceptable internal and external noise levels within the development as a result of noise from the nearby industrial estate”.

- 8.54. Officers worked with the applicant to try to resolve this issue given that the site is allocated for development and outline planning consent has been granted. As a result of the difference in opinion between the applicant’s noise consultant and our EHO, an independent noise consultant was instructed by the Council to review if the noise report submitted with the application is sufficient to enable Condition 26 to be discharged.

- 8.55. The noise consultant advised that

“In summary the proposals address the issues appropriately, recognise the potential for adverse and significant adverse impacts and suggest a range of mitigation measures to address those impacts so that noise and planning policy

and guidance aims and objectives are likely to be achieved. The scheme relies on some sources of guidance and advice on the evaluation of noise that may not be ideally suited to the sounds emitted from the nearby commercial sources, but applies these in a precautionary way so that the risk of adverse and significant adverse effects is mitigated and minimised and avoided, as required by policy and guidance. Mitigation measures include as far as reasonably practicable using the site layout and orientation of dwellings coupled with boundary noise barriers to mitigate noise impacts.

In addition, fundamental to the mitigation measures is the use of the building envelope with windows closed, and alternative means of ventilation provided, to achieve acceptable internal noise conditions. This is itself an adverse effect as it limits how the occupiers can use their home, but is recognised as a suitable means of noise mitigation in these situations in the National Planning Practice Guidance in Paragraph: 009 Reference ID: 30-009-20190722 Revision date: 22 07 2019, which advises the following: “The agent of change will also need to define clearly the mitigation being proposed to address any potential significant adverse effects that are identified. Adopting this approach may not prevent all complaints from the new residents/users about noise or other effects, but can help to achieve a satisfactory living or working environment, and help to mitigate the risk of a statutory nuisance being found if the new development is used as designed (for example, keeping windows closed and using alternative ventilation systems when the noise or other effects are occurring).”

- 8.56. The noise consultant concluded that the application clearly defines the mitigation required to adequately deal with significant adverse effects and this will help to achieve a satisfactory living environment where the risk of statutory nuisance has been reasonable practicably minimised.
- 8.57. WNC’s Environmental Health officers have confirmed that they accept the findings of the independent noise consultant and have no objection to the application.
- 8.58. It is therefore considered that the scheme will accord with Policy BN9 of the JCS and the overarching intentions of the NPPF and as such the condition can be discharged as part of this reserved matters application.

Ecology

- 8.59. WNC’s Ecologist has raised a concern that the Ecological Constraints Report is two years old, so the badger findings are out of date and have advised that an updated survey is warranted in this case. There are however conditions attached to the outline consent which covers issues such as this.
- 8.60. Condition 43 states that, “no development shall take place in any phase until details of measures for the provision and management of compensatory habitat creation (including a timetable for its implementation) associated with that phase of development have been submitted to, and approved in writing by, the Local Planning Authority. The measures shall be informed by the updating, as necessary, of protected species survey work and the protection and mitigation measures identified as being required as a result of previous and any updated survey work. Development shall be carried out in accordance with the approved details”.
- 8.61. As this condition is attached to the outline permission, the applicants will need to discharge Condition 43 in relation to Zone 10 and no development can take place until Condition 43 has been discharged.

8.62. Given that there is a condition attached to the outline consent which covers the issue of updated protected species work, it is not reasonable for conditions to be attached any reserved matters approval.

8.63. It is therefore considered that the scheme will accord with Policy BN2 of the WNJCS and Policy ENV5 of the Settlements and Countryside Local Plan (Part 2).

Other considerations

8.64. National Space Standards - Policy H08 part Ciii) requires that all dwellings should meet the national space standards. The majority of the dwellings meet the minimum national space standards for the minimum number of people for each dwelling type. Unfortunately some of the 2 and 3 bed units do not meet the standards. A total of seventeen 2 bed affordable houses do not meet the NSS and a total of twenty four 2bed and thirty eight 3bed markets units do not meet NSS. This equates to 79 units out of a total of 350 units not meeting standards (22.5%).

8.65. The issue of space standards has been raised with the applicant. We are however unable to require the applicant to increase the size of these units as there were no conditions attached to the outline planning permission requiring the development to adhere to these requirements. Legal advice has been sought which concluded that there is a plethora of case law and appeal decisions which supports and confirms the position that prescriptive details cannot be imposed as requirements at reserved matters stage unless details were first secured as part of the outline planning permission. The reserved matters can only properly deal with those requirements set out in the Order. Provided the reserved matters application falls within the principle of what was approved as part of an outline planning permission (together with any relevant planning condition detail requirements) there is no ability to seek to impose further restrictive details.

9. FINANCIAL CONSIDERATIONS

9.1. CIL payments are not applicable to this site as the outline consent was approved prior to CIL being adopted.

10. PLANNING BALANCE AND CONCLUSION

10.1. The planning system is actively encouraged to assume a presumption in favour of sustainable development rather than being an impediment to sustainable growth. The site, being located with the Overstone Leys SUE will have a good level of accessibility and be within reasonable walking and cycling to the local centre. Taking the above into account, this development is considered to be acceptable.

10.2. The proposal has been designed in accordance with the parameter plans approved at outline stage and the indicative masterplan.

10.3. On balance, it is considered that the proposal is acceptable in planning terms and hence overall complies with policies S1, S10, N3, C1, C2 and BN9 of the West Northamptonshire Joint Core Strategy and policies ST1, EN1, ENV4, ENV5 and ENV10 of the Settlements and Countryside Local Plan (Part 2) (February 2020).

11. RECOMMENDATION / CONDITIONS AND REASONS

11.1. DELEGATE TO THE ASSISTANT DIRECTOR FOR PLANNING TO GRANT PERMISSION SUBJECT TO THE CONDITIONS SET OUT BELOW (AND ANY AMENDMENTS TO THOSE CONDITIONS AS DEEMED NECESSARY).

Conditions

Drawing Numbers

1. The development shall be carried out strictly in accordance with the following drawings;

Layouts

OLNVNH-MCB-ZZ-ZZ-DR-A-0200-D5-P2-Site Location Plan
OLNVNH-MCB-ZZ-ZZ-DR-A-0230A-S2-P6-Site layout Combined
OLNVNH-MCB-ZZ-ZZ-DR-A-0230-D5-P7-Site layout Plan
OLNVNH-MCB-ZZ-ZZ-DR-A-0231-D5-P4-External materials and boundaries treatment plan
OLNVNH-MCB-ZZ-ZZ-DR-A-0232-D5-P4-Surface Finishes Plan
OLNVNH-MCB-ZZ-ZZ-DR-A-0233-D5-P3-Affordable Tenure Plan
OLNVNH-MCB-ZZ-ZZ-DR-A-0234-D5-P4-Refuse Management Plan
OLNVNH-MCB-ZZ-ZZ-DR-A-0235-D5-P4-Parking Strategy Plan
OLNVNH-MCB-ZZ-ZZ-DR-A-0236-S2-P2-Garden Sizes Plan

House Types

OLNVNH-MCB-ZZ-ZZ-DR-A-A43 Corridor HT Portfolio
OLNVNH-MCB-ZZ-ZZ-DR-A-General Neighbourhood & Rural Edge Portfolio_Part1
OLNVNH-MCB-ZZ-ZZ-DR-A-General Neighbourhood & Rural Edge Portfolio_Part2
OLNVNH-MCB-ZZ-ZZ-DR-A-Primary Street HT Portfolio
OLNVNH-MCB-ZZ-ZZ-DR-A-Garages Portfolio

Street Scenes and Site sections

OLNVNH-MCB-ZZ-ZZ-DR-A-0300-D5-P2 - Illustrative Streetscenes A, B, C & D
OLNVNH-MCB-ZZ-ZZ-DR-A-0301-D5-P2 - Illustrative Streetscenes E, F, G & H
OLNVNH-MCB-ZZ-ZZ-DR-A-0302-D5-P2 - Illustrative Streetscenes I & J
OLNVNH-MCB-ZZ-ZZ-DR-A-0305-D5-P1-Site sections Type AA, Type BB
OLNVNH-MCB-ZZ-ZZ-DR-A-0306-D5-P1-Site sections Types CC, Type DD

Engineering

18927-OVER-5-200-B Levels & Drainage Strategy- Sheet 1 of 2
18927-OVER-5-201-B Levels & Drainage Strategy- Sheet 2 of 2

Landscape 7463.LS.1.0.B. Landscape strategy

Other

N46712-1r1 - Overstone Leys, Northamptonshire - Noise Impact Assessment
61626 - Overstone Leys - Accommodation Schedule Site layout - P6 - 2021.09.09
20210909 Overstone Consultation Tracker

Reason: To ensure development is in accordance with the submitted drawings and to enable the Local Planning Authority to consider the impact of any change to the approved plans.

Hard landscaping

2. Notwithstanding Drawing OLVNHN-MCB-ZZ-ZZ-DR-A-0231-D5-P4-External materials and boundaries treatment plan prior to construction of the dwellings above slab/foundation level details of hard landscaping works shall be submitted to and approved in writing by the local planning authority. Details of hard landscaping works shall include boundary treatments (including hedgehog holes), including full details of the proposed boundary walls, fences, railings and gates to be erected, specifying the colour of the railings and gates; footpaths. The hard landscaping works shall thereafter be completed in full accordance with the approved details prior to first occupation of the dwellings to which they relate.

Reason: Drawing OLVNHN-MCB-ZZ-ZZ-DR-A-0231-D5-P4-External materials and boundaries treatment plan is not acceptable in its current form as elements of enclosures are missing and in the interest of residential amenity further details are required in accordance with Policy ENV10 of the Settlements and Countryside Local Plan (Part 2).

Removing Permitted Development Rights

3. Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) (or any Order revoking and re-enacting that Order with or without modification) no alterations shall be made to any means of enclosure hereby approved that front a highway, footpath or private drive, and no new means of enclosure shall be erected within the curtilage of any dwelling house forward of any wall of that dwelling house which fronts on to a highway, footpath or private drive, in either case without the prior written consent of the Local Planning Authority. For the avoidance of doubt, 'means of enclosure' shall include fences, gates, railings, walls or hedges. Any gates shall be set back 5.5m from the highway boundary.

Reason: In the interests of the visual amenity of the area and of highway safety and in accordance with Policy ENV10 of the Settlements and Countryside Local Plan (Part 2).

Materials

4. Notwithstanding Drawing OLVNHN-MCB-ZZ-ZZ-DR-A-0231-D5-P4-External materials and boundaries treatment plan prior to construction of the dwellings above slab/foundation level samples (including photographs) of the materials to be used for the external surfaces shall be submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details unless otherwise agreed in writing with the Local Planning Authority.

Reason: From the approved application details it is not possible to assess the appropriateness of the proposed materials without checking them on site and comparing them to their surroundings, to ensure the proposed materials are appropriate to the appearance of the locality. Because it can take up to 8 weeks to discharge a condition, it is recommended the samples are provided at least 8 weeks before they need to be ordered. In the interests of visual amenity of the area in accordance with Policy ENV10 of the Settlements and Countryside Local Plan (Part 2).

Landscaping

5. The submitted and approved landscaping scheme shall be implemented prior to the development, or any phase of the development, being first occupied/used, or in

accordance with a programme submitted to and approved in writing with the Local Planning Authority. If within a period of five years from the date of the planting of any tree or shrub, they, or any planted in replacement for them, are removed, uprooted or destroyed or die (or becomes in the opinion of the Local Planning Authority, seriously damaged or defective) another tree or shrub of the same species and size as that originally planted shall be planted at the same place, unless the Local Planning Authority gives its written consent to any variation.

Reason: In the interests of the visual amenity of the area and in accordance with Policy ENV1 of the Settlements and Countryside Local Plan (Part 2).

6. Prior to the construction of the dwellings above slab/foundation level, details of a method statement in relation to the installation of the footpath in the vicinity of the line of retained mature trees shall be submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details unless otherwise agreed in writing with the Local Planning Authority.

Reason: To ensure that the root protection areas of the retained mature trees are protected in accordance with Policy ENV4 of the Settlements and Countryside Local Plan (Part 2).

Use of garages

7. The garages, parking spaces and turning areas shown on the approved plan(s) shall be constructed/laid out and surfaced in accordance with the approved drawings before the dwelling is first occupied and shall not thereafter be used for any purpose other than garaging/parking of private motor vehicles.

Reason: In the interests of residential amenity and the safety and convenience of users of the adjoining highway in accordance with Policies ENV10 and SP1 of the Settlements and Countryside Local Plan (Part 2).

Affordable Housing

8. The quantum, disposition and type of affordable housing within the site shall be set out on the Affordable Tenure Plan OLNVHN MCB-ZZ-ZZ-DR-A-0233 D5-P3 and the Affordable Housing Statement prepared by Pioneer Property Services Ltd and the tenure and phasing of the affordable housing shall be as set out in the existing Section 106 agreement for the site, in all cases, unless otherwise agreed in writing by the Local Planning Authority, in the context of a viability assessment for the site.

Reason: In the interests of providing an appropriate level and standard of affordable housing.

Retaining walls

9. Notwithstanding Drawing 18927-OVER-5-200-B Levels & Drainage Strategy- Sheet 1 of 2 and 18927-OVER-5-201-B Levels & Drainage Strategy- Sheet 2 of 2 prior to construction of the dwellings above slab/foundation level, details of any retaining walls proposed shall be submitted to and approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details unless otherwise agreed in writing with the Local Planning Authority.

Reason: In the interests of the visual amenity of the area and in accordance with Policy ENV1 of the Settlements and Countryside Local Plan (Part 2).

Noise Mitigation

10. Prior to the first occupation of the plots highlighted in Chapter 5 of the Noise Impact Assessment N46712-1r1 prepared by EnSafe Consultants (dated September 2021), the noise mitigation measures shall have been installed and a verification report submitted and approved in writing by the Local Planning Authority to detail evidence of the mitigation measures installed. Development shall be carried out in accordance with the approved details unless otherwise agreed in writing with the Local Planning Authority.

Reason: To ensure a satisfactory residential environment for future occupiers in accordance with Policy BN9 of the West Northamptonshire Joint Core Strategy Local Plan (Part 1).

Allotments

11. Prior to construction of dwellings above slab level full details of the allotments (including boundary fencing/pitch size/associated infrastructure) including a programme of implementation, shall be submitted to and approved in writing by the Local Planning Authority. Development shall thereafter be carried out in accordance with the approved details.

Reason: In order that a satisfactory provision of allotments are provided for the development.

Public Art

12. The development shall proceed in accordance with details for the provision of public art which has been submitted to and approved in writing by the Local Planning Authority. The submitted details shall include the design, appearance and siting of the artwork (in consultation with the Parish Council) and a programme for its installation and subsequent retention. The works shall be installed and retained in accordance with the approved details.

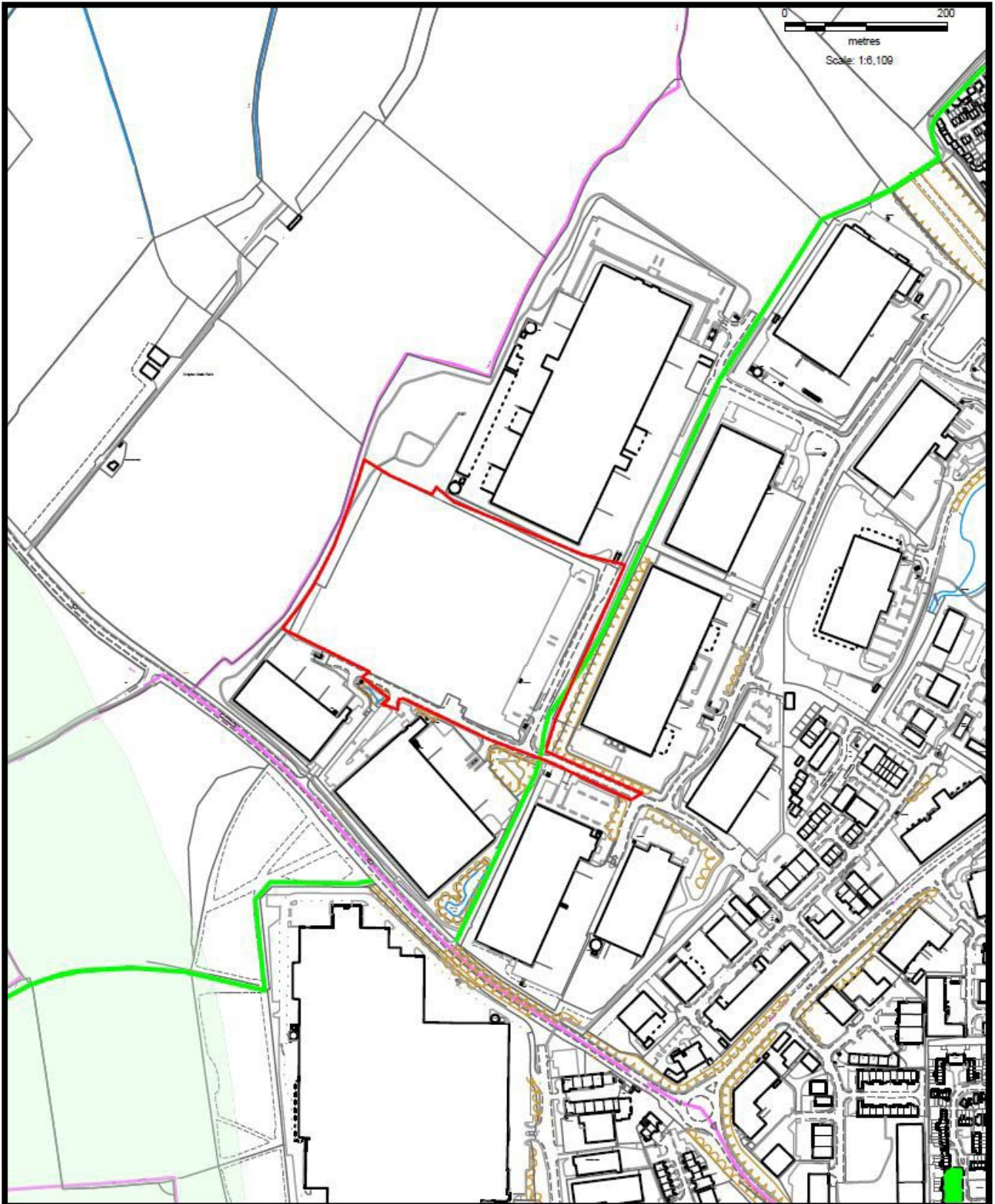
Reason: To ensure the development is carried out in accordance with the approved Masterplan and Design Code and in the interest of visual amenity in accordance with Policy ENV10 of the Settlements and Countryside Local Plan (Part 2).

NOTES

As required by Article 35 of the Town and Country (Development Management Procedure) (England) Order 2015 (as Amended) the following statement applies: In dealing with this planning application the Local Planning Authority have worked with the applicant in a positive and proactive manner with a view to seeking solutions to problems arising in relation to the consideration of this planning application.

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Parish: Daventry North



Town/Village: Daventry

Site Area: 9.1ha

Grid Location: SP 264297 455487

Map Scale: 1:6109

— Site

--- TPO Group

□ Parish

Special Landscape Area

— Bridleway/Footpath

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Application Number: WND/2022/0735

Location: Apex Park Phase 3, Zone B, Parsons Road, Daventry, Northamptonshire

Proposal: Reserved matters application (Access, appearance, landscaping, layout and scale) for a warehouse and distribution unit including ancillary offices, landscaping, access, parking and associated infrastructure

Applicant: Prologis UK Ltd

Agent: Lichfields

Case Officer: Eamon Mc Dowell

Ward: Braunston and Crick

Reason for Referral: Major Development

Committee Date: 14/11/22

EXECUTIVE SUMMARY OF PROPOSALS AND RECOMMENDATION

RECOMMENDATION: APPROVE SUBJECT TO CONDITIONS

Proposal:

Reserved matters application (Access, appearance, landscaping, layout and scale) for a warehouse and distribution unit including ancillary offices, landscaping, access, parking and associated infrastructure

Consultations

The following consultees raised **no objections**, subject to conditions/comments:

- WNC EHO subject to conditions
- WNC LHA subject to conditions on layout parking and access being satisfied

No letters of objection and no letters of support were received.

Conclusion

The application has been assessed against the relevant policies in the NPPF, the adopted Local Plan and other relevant guidance as listed in detail at Section 8 of the report.

The key issues arising from the application details are:

- design and impact on its surroundings;
- access, parking and highways;
- lighting, noise and contamination, air quality;
- surface water drainage and flood risk;
- biodiversity.

The report looks into the key planning issues in detail, and Officers conclude that the proposal is acceptable subject to conditions to be agreed. In the context of the presumption in favour of sustainable development set out within the NPPF, it is considered that, on balance, the proposal would result in sustainable development. The application accords with the Development Plan for West Northamptonshire Council. It will deliver a sustainable development on an allocated site of two warehouse and associated infrastructure in an attractive well-designed, pleasant landscaped environment.

Members are advised that the above is a summary of the proposals and key issues contained in the main report below which provides full details of all consultation responses, planning policies, the Officer's assessment and recommendations, and Members are advised that this summary should be read in conjunction with the detailed report.

MAIN REPORT

1. APPLICATION SITE AND LOCALITY

1.1. The application site presently comprises an expansive area of concrete hardstanding where the former building stood together with the service yard areas and parking areas. The site is bounded to the south by an existing estate road that affords access to and from the A45 via the existing long established industrial estate. To the south of this road are two storage warehouse buildings approved and built relatively recently. To the north of the application site there is a recently constructed and now operational warehouse under planning Reference DA/2019/0366.

2. CONSTRAINTS

2.1. The application site is within an allocated strategic employment area under Policy EC4 of the Part 2 Local Plan

3. DESCRIPTION OF PROPOSED DEVELOPMENT

3.1 The development is for one warehouse unit with associated parking landscaping and supporting infrastructure. Specifically the building for which reserved matters approval is sought, will comprise:

A 31,773 m² (342,004 ft²) Use Class B2/B8 (storage and distribution) unit (Unit DC9) with 818 m² (8,807 ft²) ancillary office (Use Class E), 548 m² (5,974 ft²) hub office, and 2 no. ancillary Gatehouses 48 m² (518 ft²) (All GIA figures).

3.2 The applicants agents advise that the detailed layout has been designed to meet the requirements of a potential future occupier. They advise that the key features of the layout of the site as:

- a single warehouse unit located broadly centrally within the site area. The building comprises the main warehouse, a main office, and hub office. The entrance into the hub office building is located on the eastern elevation of the hub, adjoining the southern elevation of the main warehouse building. The main entrance to the warehouse and main office building are located on the northern elevation of the main warehouse building

- 32 standard docking spaces will be provided for Unit DC9; alongside 4 high shelter docking spaces and 5 Level Access Docks. These are located on the southern elevation of the warehouse. An additional 86 HGV spaces are also provided.
- Car parking (including electric vehicle charging spaces) is provided to the north and east of the warehouse.
- access into the site will be from the east of the core development area. HGV access will be segregated and managed via a gatehouse. All other vehicles will access the site via the main car park entrance further north.
- A fire tender access/potential car access road for future segregation is located to the west of the warehouse.
- Sprinkler tanks and pump house are proposed in the southeast corner of the site, south of the HGV gatehouse access.
- A surface water attenuation basin (swale) and external amenity space is located to the east of the proposed sprinkler tanks and pump house. This is located directly south of the HGV gatehouse also, adjacent to the internal access road that runs parallel to the eastern boundary of the core site area.
- The acoustic barrier to the west of unit DC9 will be retained and extended across the length of this western site boundary.

3.3 Access arrangements will comprise:

- Access into the site is proposed from the internal access road leading east off Parsons Road.
- An HGV inbound access is located off this internal access road and HGVs will be met by an inbound gatehouse and automatic HGV barrier gate. Upon clearance by operatives in the gatehouse, HGV will enter into the core service yard located to the south of the main warehouse building. HGVs will egress the site from the outbound HGV access located to the southwest of the warehouse building, again serviced by a gatehouse, and adjoins the access road leading towards Parsons Road.
- A separate vehicular access for all other forms of transport is proposed to the north of the proposed HGV access on the internal access road

4. RELEVANT PLANNING HISTORY

- 4.1 The application site forms part of a 17ha site originally approved by the West Northamptonshire Development Corporation under 08/0143/FULWND for construction of 3 B8 (Storage and Warehouse) units with associated offices landscape, access parking and infrastructure. That development was subsequently varied and amended by Daventry District Council under the applications listed in the planning history above.
- 4.2 The development was completed in accordance with the planning approvals with the building on Zone B Plot 1 being completed and occupied most recently. As a result of a fire in 2018 that building was extensively damaged and had to be demolished with the site being cleared with only the concrete service yards and slab of the former building remaining on site together with surrounding fence enclosure. A subsequent approval

allowed for a replacement building on a like for like basis under DA/2018/0525 but has not been implemented.

- 4.3 Outline permission was granted under reference DA/2019/0569 to allow for the redevelopment of the vacant plot for up to 4 new units. The current application is a reserved matters submission for 2 units on the whole of the site and is pursuant to the RM application referred to above.
- 4.4 Most recently Strategic Committee approved an application for two warehouse buildings on this site under reference WND/2022/0348. If permitted this application could supersede that permission if implemented.

5. RELEVANT PLANNING POLICY AND GUIDANCE

Statutory Duty

- 5.1. Planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise.

Development Plan

- 5.2. The Development Plan comprises the West Northamptonshire Joint Core Strategy Local Plan (Part 1) which was formally adopted by the former Joint Strategic Planning Committee on 15th December 2014 and which provides the strategic planning policy framework for the District to 2029; the Daventry District Local Plan (Part 2) which was adopted by the former Daventry District Council in February 2020; and any adopted Neighbourhood Plans. The relevant planning policies of the statutory Development Plan are set out below:

West Northamptonshire Joint Core Strategy Local Plan (Part 1) (LPP1)

- 5.3. The relevant policies of the LPP1 are:

- SA - Presumption in favour of Development;
- S1 - Distribution of Development;
- S7 - Provision of Jobs;
- S8 - Distribution of Jobs;
- S10 - Sustainable Development Principles;
- S11 - Low Carbon and Renewable Energy;
- C1 - Changing Behaviour and Achieving Modal Shift;
- C2 - New Developments;
- BN1 - Green Infrastructure Connections;
- BN2 - Biodiversity;
- BN7 - Flood Risk

Daventry District Local Plan (Part 2) (LPP2)

- 5.4. The relevant policies of the LPP2 are:

- SP1 - District Spatial Strategy;
- EC4 - Strategic Employment Area;
- ENV3 - Green Wedges;

- ENV5 - Biodiversity;
- ENV9 - Renewable Energy and Low Carbon Development;
- ENV10 - Design;
- ENV11 - Local Flood Risk Management;

Material Considerations

5.5. Below is a list of the relevant Material Planning Considerations

- National Planning Policy Framework (NPPF), revised July 2021;
- Planning Practice Guidance (PPG);
- National Design Guide (January 2021).

6. RESPONSE TO CONSULTATION

Below is a summary of the consultation responses received at the time of writing this report.

Consultee Name	Position	Comment
Crime Prevention design Adviser	No Objection	Observations on general security matters including CCTV lighting, fencing barriers and gates.
Environment Agency	No comment to make	
WNC Definitive map Officer	No Objection	Doesn't appear to be an issue with the bridleway
WNC EHO	No Objection	Subject to conditions in respect of lighting and noise attenuation
WNC LHA	No Objection	Subject to conditions in respect of access, parking and CEMP
WNC LLFA	No comments received	
WNC Landscape	No Objection	Subject to conditions on implementation and management
Braunston PC	No comments received	
Daventry TC	No comments received	

7. RESPONSE TO PUBLICITY

Below is a summary of the third party and neighbour responses received at the time of writing this report.

7.1. There have 0 objections/letters of support raising the following comments:

8. APPRAISAL

Main Issues

8.1 As the principle of development has already been established by previous planning history as referred to above the application falls to be determined in respect of the details of the development including:

- design and impact on its surroundings;
- access, parking and highways;
- lighting noise and contamination air quality;
- surface water drainage and flood risk;
- biodiversity.

Design and impact on its surroundings;

8.2 As the site is within an existing industrial area it is considered that the design and appearance and layout of the proposed development would sit comfortably without adverse impact on the amenity of the area being very similar to the building that previously occupied the site.

8.3 Although the site sits on the edge of Daventry town the proposed building would sit away from the existing landscape edge such that its impact from beyond the site towards the parish of Braunston is judged to be acceptable.

8.4 This layout is very similar to the previously developed site prior but with a narrower building to the service yard to the southern side and staff parking on the northern side. The site will be well screened by a combination of the acoustic fence and additional planting which over time will soften this edge to the countryside beyond.

8.5 No comments have been received from either the Town Council or Parish Council but previously concerns about colour of cladding had been raised and can be addressed by way of condition. Overall I am not convinced that the choice of colouring for the cladding together with the proposed siting and orientation of the building within the site would cause any adverse impact to the wider landscape.

8.6 Accordingly I am satisfied that the design and appearance of the buildings is acceptable.

Access, parking and highways.

8.7 The Local Highway Authority has raised no objections to the proposed layout, access arrangements or parking provision. The immediate access into and out of the site at Parsons Road will remain unadopted and in the ownership of the applicant.

8.8 Provision has been made for access for pedestrians and cyclists to and from the site and the nearby bridleway is unaffected by the proposals.

8.9 13 EV charging points are also proposed within the staff parking area as well as bicycle parking shelters.

8.10 Accordingly the proposal is judged to be acceptable in terms of its impact on the local highway network.

Lighting noise and contamination air quality

8.11 The WNC EHO has responded on a number of matters advising that any changes to reports covered by condition 5 of the outline permission (noise, land and air quality) will need to be revisited this scheme affects those reports.

- 8.12 Accordingly a condition is recommended in respect of noise mitigation which will seek to assess impact of the operational development on nearest noise sensitive properties and how best to mitigate that.
- 8.13 A construction management plan was submitted which EHO has previously advised should be amended to restrict hours of construction works to Mon-Friday 08.00-18.00 Sat 0800-13.00 and no work on Sundays/Bank Holidays.
- 8.14 The submitted lighting scheme is judged acceptable.
- 8.16 Conditions are also recommended in terms of dealing with contamination to ensure that any deviation from previous agreed reports can be addressed. It is judged that these conditions satisfy the planning tests in terms of being necessary, enforceable, proportionate and reasonable they will be imposed.
- 8.17 In addressing concerns about air quality the applicants are proposing EV charging points (16) as part of a choice based transport plan to encourage use of other forms of transport including cycling and walking. Enhanced landscape treatment around and within the site will further add to biodiversity enhancement opportunities as well as amenity space for employees.

Surface water drainage and flood risk.

- 8.18 These are the subject of conditions submissions under the outline permission and will be addressed prior to commencement of work on site.

Biodiversity

- 8.19 The site itself does not offer much opportunity for existing biodiversity but much work has been done in respect of strategic landscaping on the edges of this and adjoining sites that will offer opportunities as landscape planting matures over time.

Other matters

- 8.20 Concerns were raised by members previously about the need for EV charging points and PV panels and colour palette of the buildings on this site under the previous application.
- 8.21 In response to concerns about the colour palette the applicant's agents advise:

"This colour palette has been selected for the following design effects:

- A darker base around the operational areas draws the eye to lower level, allowing the lighter high-level cladding to merge more comfortably against the sky / landscaped backdrop. This was considered acceptable during the consideration of the OPP and has been utilised elsewhere on other phases at Apex Park;
- Eaves and verge overhangs will be minimal, so as not to generate strong shadows at high level;
- Boundary treatments use a muted palette of materials to minimise visual impact.

The proposed development represents a high-quality design which seeks to promote sustainable development. It is considered that the proposals accord with the relevant development plan policy [WNJCS Policies S10, S11 and Part 2 Plan Policy ENV10], Daventry Design Guide SPD and the provisions of the Framework which makes clear that design is a key aspect of sustainable development."

As advised above I judge the choice of palette to be acceptable in planning terms.

- 8.22 As regards EV Charging points and PV panels the applicants agents advise that the current proposal is for 13 electric charging points which they consider is sufficient given the lack of policy requirement in the existing Development Plan. On the question of PVs the applicants advise they are committed to delivering sustainable buildings and are in discussions with potential occupiers who are receptive to their inclusion. In planning terms there presently are development plan policy requirements to enforcing the provision of PV panels such that these cannot be secured by planning condition in a manner that satisfies the tests for planning conditions.

9. FINANCIAL CONSIDERATIONS

- 9.1. CIL is not liable.

10. PLANNING BALANCE AND CONCLUSION

- 10.1 The application site benefits from outline permission for this type of development and is allocated as part of a Strategic Employment Area such that principle of development is already established.
- 10.2 The submission of reserved matters for this building on site is judged to be acceptable and subject to specific conditions outlined above would represent an acceptable form of sustainable development which complies with the provisions of the development plan.

11. RECOMMENDATION / CONDITIONS AND REASONS

RECOMMENDATION: THAT THE APPLICATION FOR RESERVED MATTERS BE APPROVED WITH THE FOLLOWING CONDITIONS:

Drawings

1. The development hereby permitted shall be carried out in strictly in accordance with the submitted plans listed below:

- Site Location Plan
- Site Layout Plan
- Hard Landscaping Plan
- Boundary Treatment Plan
- Warehouse Layout Plan
- Office Layout Plan
- Hub Office Layout Plan
- Roof Plan Apex Park Phase 3 Zone B Planning and Design Statement
- Sections Plan
- Site Elevations Plan
- Office Elevations Plan
- Hub Office Elevations Plan

Reason: The condition is imposed to ensure that the development is carried out in accordance with the submitted drawings which are judged acceptable in planning terms

and to afford the LPA the opportunity of assessing any impacts on changes to the approved development.

Parking provision

2. Provision shall be made for the parking, turning, loading and unloading of vehicles within the site, in accordance with the submitted drawings and shall be laid out, surfaced and marked out in accordance with the approved details before the units are first occupied and shall be permanently set aside and reserved for the purpose.

Reason: In the interests of the safety and convenience of users of the adjoining highway.

Landscape treatment

3. The submitted landscape scheme shall be maintained and managed in accordance with the Proposed soft landscape: Landscape maintenance and management plan submitted with the application.

Reason: To ensure that the approved landscape scheme as listed in the approved drawings at condition 1 is properly implemented and manage to ensure it is established in order to mitigate the visual impact of the development and to afford biodiversity opportunities.

Materials

4. Prior to construction works above slab level samples of the materials to be used in the construction of the external surfaces of the approved warehouse unit hereby permitted shall have been approved in writing by the Local Planning Authority. Development shall be carried out in accordance with the approved details.

Reason: From the approved application details it is not possible to assess the appropriateness of the proposed materials without checking them on site and comparing them to their surroundings, to ensure the proposed materials are appropriate to the appearance of the locality. Because it can take up to 8 weeks to discharge a condition, it is recommended the samples are provided at least 8 weeks before they need to be ordered. The materials shall be made available on site for inspection and not brought to the LPA offices.

Notes: The applicants are reminded of the need to ensure compliance with those conditions set out on the Outline permission DA/2019/0569 which are still relevant to the reserved matters application hereby approved. In particular surface water drainage conditions 7, 8 and 9. Although details have been submitted as part of this application these details remain to be agreed by the Local Lead Flood Authority.

Noise

5. Prior to occupation a noise assessment that outlines the likely impact on any noise sensitive property, and the measures necessary to ensure that the noise does not affect the local amenity of residents shall be submitted to and approved in writing by the Local

Planning Authority. The assessment shall be determined by measurement or prediction in accordance with the guidance and methodology set out in BS4142: 2014. Once approved the use hereby permitted shall be operated in accordance with the approved details and thereafter maintained in this approved state at all times.

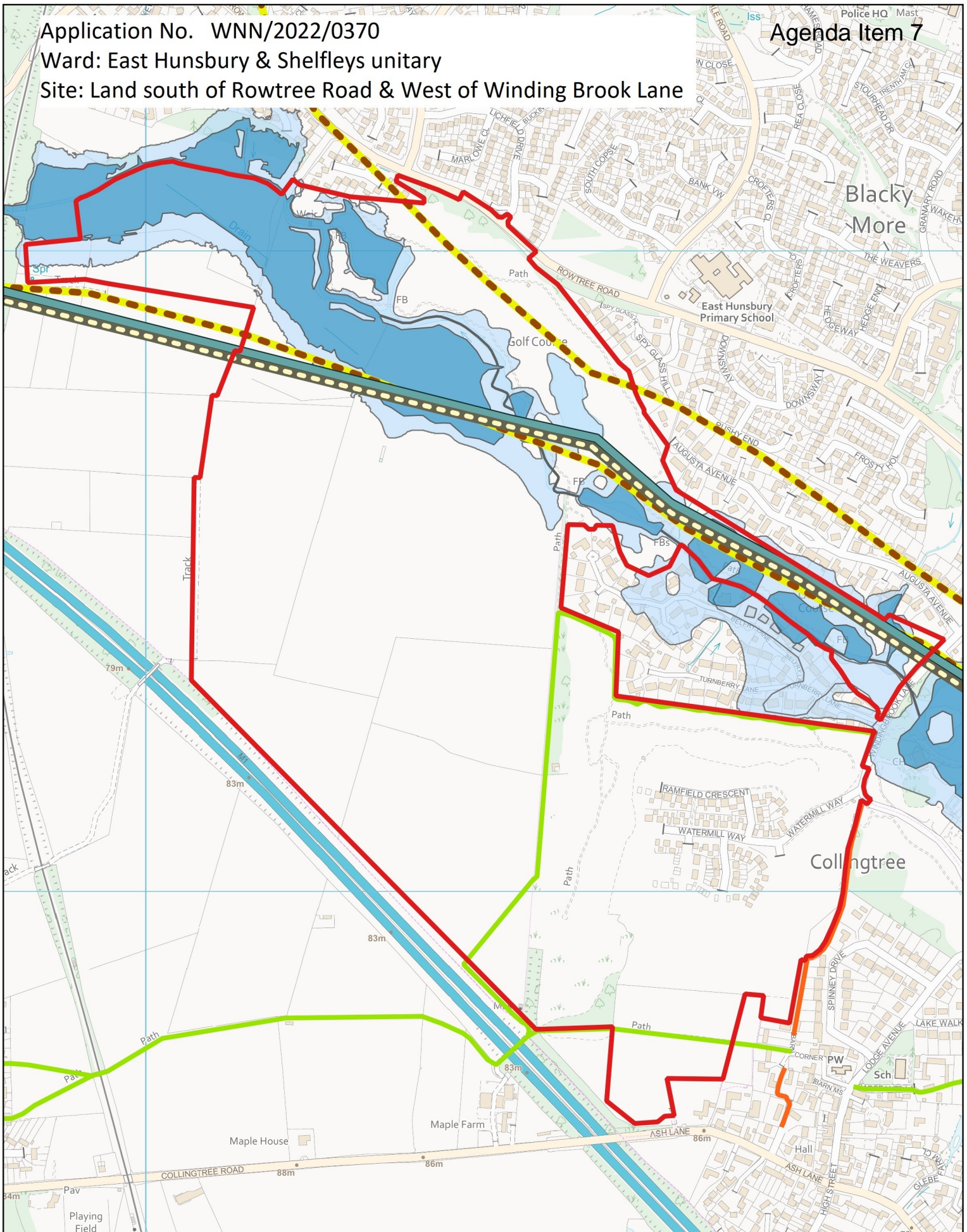
Reason: In the interests of the amenity of residential properties in the general locality of the site.

Application No. WNN/2022/0370

Ward: East Hunsbury & Shelfleys unitary

Site: Land south of Rowtree Road & West of Winding Brook Lane

Agenda Item 7



Town: Northampton

Site Area: 96.0240 Hectares

Grid Location: SP East 74536 North 56434

Map scale: 7500

Site —

Floodzones —

Methane/Gas/Slurry pipelines - - -

Public right of way —

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Application Number: WNN/2022/0370

Location: Land south of Rowtree Road and west of Windingbrook Lane, Northampton, Northamptonshire

Development: Reserved Matters Application pursuant to Outline Planning Permission N/2013/1035 for the approval of Phase 2A of the development comprising the delivery of the central primary street, together with the associated drainage and ecology

Applicant: Vistry Homes

Agent: Optimus Consulting

Case Officer: Adam Walker

Ward: East Hunsbury and Shelfleys Unitary Ward

Reason for Referral: Major application

Committee Date: 14 November 2022

EXECUTIVE SUMMARY OF PROPOSALS AND RECOMMENDATION

RECOMMENDATION: GRANT PERMISSION SUBJECT TO CONDITIONS as set out below with delegated authority to the Assistant Director for Planning to approve any amendments to those conditions as deemed necessary.

Proposal

Reserved matters application for highways and drainage infrastructure associated with Phases 2 and 3 of the Northampton South Sustainable Urban Extension (SUE).

Consultations

The following consultees have raised **no objection** on the application:

- Anglian Water
- Collingtree Parish Council
- Ecology Advisor
- Environment Agency
- Lead Local Flood Authority
- Local Highway Authority

The following consultee has made comments on the application:

- National Highways

There have been 2 third party representations making comments on the application.

Conclusion

The application has been assessed against the relevant policies in the NPPF, the adopted Local Plan and other relevant guidance as listed in detail at Section 5 of the report.

The key issues arising from the application details are:

- Highway matters
- Flood risk and drainage
- Ecology

The report looks into the key planning issues in detail, and Officers conclude that the proposal is acceptable, subject to conditions.

Members are advised that the above is a summary of the proposals and key issues contained in the main report below which provides full details of all consultation responses, planning policies, the Officer's assessment and recommendations, and Members are advised that this summary should be read in conjunction with the detailed report.

MAIN REPORT

1. APPLICATION SITE AND LOCALITY

- 1.1 The application relates to the Northampton South Sustainable Urban Extension, allocated under Policy N5 of the Joint Core Strategy, which is to provide up to 1000 dwellings, a mixed use local centre, a site for a primary school and open space. Phase 1 of the development is currently under construction and comprises of 349 dwellings.
- 1.2 The application site comprises of land within the second phase of the development, which lies to the west of Phase 1.

2. CONSTRAINTS

- 2.1 The Wootton Brook lies to the northern boundary of the site and falls within Flood Zones 2 and 3.
- 2.2 The Wootton Brook forms part of the Collingtree Golf Course Local Wildlife Site.
- 2.3 There is a high pressure gas pipeline, slurry pipeline and methane pipeline to the south of the Wootton Brook.
- 2.4 There is a public right of way to the east of the site that runs between Phases 1 and 2 of the development.

3. DESCRIPTION OF PROPOSED DEVELOPMENT

- 3.1 Reserved Matters Application pursuant to Outline Planning Permission N/2013/1035 for the approval of Phase 2A of the development comprising the delivery of the central primary street, together with the associated drainage and ecology.

- 3.2 The application is seeking approval for a substantial section of the primary access road that would serve Phases 2 and 3 of the development. The proposed road would form a continuation of the approved primary access road within Phase 1 which provides access from Windingbrook Lane.
- 3.3 The application is also seeking approval of the proposed drainage scheme associated with Phases 2 and 3. The surface water drainage strategy comprises of a series of three attenuation basins in the northern part of the SUE site which would discharge to the Wootton Brook.
- 3.4 The application is accompanied by an Ecological Appraisal for Phase 2A. It includes updated species surveys and information relevant to specific conditions on the outline permission.

4. RELEVANT PLANNING HISTORY

- 4.1 The following planning history relates to the application site and is of relevance to the proposal:

Application Reference	Proposal	Decision
N/2013/1035	Outline Application for the Northampton South Sustainable Urban Extension to comprise up to 1000 dwellings, a mixed use local centre, a site for a primary school, green infrastructure including formal and informal open space, reconfiguration and extension of Collingtree Park Golf Course, demolition of all existing buildings and structures within the site, new vehicular accesses off Windingbrook Lane and Rowtree Road, car parking, sustainable drainage systems (including flood risk betterment) and infrastructure (including highway improvements) all matters reserved accept access.	Allowed on appeal
N/2013/1063	378 dwellings served by a new access from Windingbrook Lane, and the re-configuration of part of the Collingtree Park Golf Course including a new temporary hole 17 and the demolition of all existing buildings and structures within the site, green infrastructure including formal and informal open space, car parking, sustainable drainage systems (including flood risk betterment) and infrastructure (including highway improvements)	Dismissed on appeal

N/2017/1556	Reserved Matters application pursuant to planning permission N/2013/1035 (Sustainable Urban Extension to comprise up to 1,000 dwellings) for the approval of Phase 1 development comprising 349 dwellings served by a new access from Windingbrook Lane, re-configuration of part of the Golf Course including new temporary hole 17, children's play area, drainage attenuation and demolition of all existing buildings and structures within the site	Approved
N/2020/0362	Variation of Conditions 1 and 15 of Planning Permission N/2017/1566 (Reserved Matters application pursuant to planning permission N/2013/1035 (Sustainable Urban Extension to comprise up to 1,000 dwellings) for the approval of Phase 1 development comprising 349 dwellings served by a new access from Windingbrook Lane, re-configuration of part of the Golf Course including new temporary hole 17, children's play area, drainage attenuation and demolition of all existing buildings and structures within the site) to revise house types and make minor layout changes	Approved
N/2021/0052	Variation of Conditions 1 of Planning Permission N/2020/0362 (Variation of Conditions 1 and 15 of Planning Permission N/2017/1566 (Reserved Matters application pursuant to planning permission N/2013/1035 (Sustainable Urban Extension to comprise up to 1,000 dwellings) for the approval of Phase 1 development comprising 349 dwellings served by a new access from Windingbrook Lane, re-configuration of part of the Golf Course including new temporary hole 17, children's play area, drainage attenuation and demolition of all existing buildings and structures within	Approved

	the site) to revise house types and make minor layout changes) to vary the house types	
WNN/2022/0806	Reserved Matters Application pursuant to Outline Planning Permission N/2013/1035 for the development of Phase 2A (Residential) for a development comprising 425no dwellings together with associated landscaping and infrastructure	Currently under consideration.

5. RELEVANT PLANNING POLICY AND GUIDANCE

Statutory Duty

- 5.1 Planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise.

Development Plan

- 5.2 The Development Plan comprises the West Northamptonshire Joint Core Strategy Local Plan (Part 1) which was formally adopted by the Joint Strategic Planning Committee on 15th December 2014 and which provides the strategic planning policy framework for the District to 2029, the adopted Local Plan (Part 1 – saved policies) and adopted Neighbourhood Plans. The relevant planning policies of the statutory Development Plan are set out below:

West Northamptonshire Joint Core Strategy Local Plan (Part 1) (LPP1)

- 5.3 The relevant policies of the West Northamptonshire Joint Core Strategy Local Plan (Part 1) are:
- Policy SA – Presumption in Favour of Sustainable Development
 - Policy S10 – Sustainable Development Principles
 - Policy BN2 – Biodiversity
 - Policy BN7A – Water Supply, Quality and Wastewater Infrastructure
 - Policy BN7 – Flood Risk
 - Policy BN9 – Planning for Pollution Control
 - Policy N5 – Northampton South Sustainable Urban Extension

Material Considerations

- 5.4 Below is a list of the relevant Material Planning Considerations

National Planning Policy Framework (NPPF)

- 5.5 The NPPF sets out the current aims and objectives for the planning system and how these should be applied. In delivering sustainable development, decisions should have regard to the mutually dependent social, economic and environmental roles of the planning system. The NPPF should be read as one complete document. However, the following sections are of particular relevance to this application:

- Paragraphs 7-12 – Presumption in favour of sustainable development
- Section 9 – Promoting sustainable transport
- Section 12 – Achieving well-designed places
- Section 14 – Meeting the challenge of climate change, flooding and coastal change
- Section 15 – Conserving and enhancing the natural environment

Northampton Local Plan Part 2 (2011-2029) (Emerging)

- 5.6 Following the decision at the Full Council on 18 January 2021, the former Northampton Borough Council submitted the Northampton Local Plan Part 2 (2011 – 2029) and supporting documents to the Secretary of State for Housing, Communities and Local Government (now Secretary of State for Levelling Up, Housing and Communities) on 4 February 2021 for examination. This is in accordance with Regulation 22 of the Town and Country Planning (Local Planning) (England) Regulations 2012 (as amended).
- 5.7 In line with Paragraph 48 of the National Planning Policy Framework, the policies contained within the emerging Northampton Local Plan Part 2 are therefore a material consideration in the determination of planning applications. The weight afforded to the policies relevant to this application are set out below:
- Policy 1 – Presumption for sustainable development (Significant weight)
 - Policy 2 – Placemaking and design (Moderate weight)
 - Policy 5 – Carbon reduction, community energy networks, sustainable design and construction, and water use (Moderate weight)
 - Policy 7 – Flood risk and water management (Significant weight)
 - Policy 29A – Supporting and enhancing Biodiversity (Moderate weight)
 - Policy 29B – Nature Conservation (Moderate weight)
 - Policy 33 – Highway network and safety (Significant weight)

6. RESPONSE TO CONSULTATION

- 6.1 Below is a summary of the consultation responses received at the time of writing this report. Responses are available to view in full on the Council’s website.

Consultee Name	Position	Comment
Anglian Water	No objection	Anglian Water are obligated to accept the foul flows from the development and will ensure that there is sufficient treatment capacity at the Great Billing Water Recycling Centre. The impacts of the proposed foul drainage strategy are acceptable at this stage. Anglian Water request to be consulted on the detailed foul water drainage details submitted pursuant to the outline permission. The proposed method of surface water discharge does not relate to an Anglian Water owned asset and as such it is outside of Anglian Water’s jurisdiction to provide comments on the suitability of the surface water discharge.
Collingtree Parish Council	No objection	The Parish Council has no objections or comments to make on this application.

Ecology Advisor	No objection	<p>The updated ecology surveys are accepted. Conditions 10 (CEMP) and 28 (ECMS) can be partially discharged pending post-development written confirmation that the additional measures were implemented.</p> <p>Condition 27 cannot be discharged until the recommended otter mitigation strategy has been submitted for this parcel.</p> <p>It is not recommended that condition 29 (LEMP) is discharged until the soft landscaping has been approved and the specific management needs are known.</p>
Environment Agency	Support	<p>The application includes the work that the Environment Agency has been discussing with the developer to alleviate existing flood risk issues to Collingtree Park. The developer is going beyond their requirements by providing a positive drainage solution to the M1 drainage. We fully support this work.</p>
Lead Local Flood Authority	No objection	<p>No objection subject to conditions requiring detailed design for the surface water drainage system, arrangements for the future maintenance and management of the surface water drainage infrastructure and a verification report for the installation of the approved drainage system.</p>
Local Highway Authority	No objection	<p>The general layout of the road submitted is acceptable, subject to more detailed review as part of the reserved matters application for the detailed design of Phase 2 as a whole.</p>
National Highways	Comment	<p>Additional information requested in relation to the 'Proposed National Highways Drain' as indicated on the proposed drainage layout so that the potential impact on the Strategic Road Network can be assessed</p>
Ward Councillor Andrew Gonzalez De Savage	Observation	<p>Very close inspection of the drainage and ecology information is necessary, including technical, professional guidance provided to the Council. Given the history of flooding in this area the drainage scheme needs to be sufficiently robust to not create further flooding problems for the existing and future homes and businesses in Collingtree Park and East Hunsbury. Flooding incidents have been distressing to local residents and there is a fear of repeated events. Appropriate mitigation measures are necessary which go over and above the minimum requirement.</p> <p>Quality new homes that provide affordable and accessible housing are welcomed but the impact on the existing environment and ecology needs to be carefully assessed.</p>

Ward Councillor Suresh Patel	Observation	Agree with the comments made by Councillor Andrew Gonzalez De Savage (above).
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7. RESPONSE TO PUBLICITY

7.1 There have been two representations received in response to the publicity of the application. A summary of the comments raised is provided below:

- Concerned about the volume of traffic and Lichfield Drive being used as a 'rat run' between Rowtree Road and Hilldrop Road by residents of the new development. How does the Council and the developer intend to stop through traffic?
- Impact of the development on the road network and road safety. A lot has changed in the past 10 years, including with regards traffic volumes and road traffic accidents. The impact on road infrastructure should be revisited to ensure an appropriate contribution is made to fund improvements, encourage active travel and reduce road danger.
- This application does not provide another exit from the development as this will come at a later stage. This means construction traffic and new residents will continue to use Windingbrook Lane.

8. APPRAISAL

Background

- 8.1 Phase 1 of the Northampton South Sustainable Urban Extension, comprising of 349 dwellings, is currently under construction and is partially occupied. Phases 2 and 3 of the development are to provide up to 651 dwellings, a primary school, local centre and open space.
- 8.2 A reserved matters application for 425 dwellings has been submitted for Phase 2 and is currently under consideration by officers (WNN/2022/0806). That application will be brought forward to the Strategic Planning Committee at a future date.
- 8.3 The current application is seeking approval for infrastructure associated with the delivery of Phases 2 and 3. It has been submitted to facilitate works commencing on the second phase outside of the detailed applications for the new residential and non-residential development.

Principle

- 8.4 The general principle of development has already been established through the allocation of the land for a Sustainable Urban Extension (SUE) and through the outline planning permission. The main issues for consideration are the acceptability of the proposed section of the primary road, the suitability of the proposed drainage scheme and the ecological impacts associated with the proposed infrastructure works.

Proposed primary road

- 8.5 The Design Code and Masterplan for the Northampton South SUE establish the parameters for the provision of a primary route through the SUE site, which connects Windingbrook Lane to the south east to Rowtree Road to the north.
- 8.6 The proposal involves the formation of a substantial section of the primary road within the SUE. The proposed road would connect to the approved primary road within Phase 1, but it does not include a connection to Rowtree Road to the north and this will come forward through a separate application.
- 8.7 The position of the proposed road is in general conformity with the Design Code and Masterplan and provides the grass verges, footway and shared cycle/footway as required under the Design Code. The proposed width of the carriageway generally accords with the Design Code however it does not include some localised widening adjacent to the school and local centre site, as referenced in the Design Code. Whilst the Design Code does not provide a specific rationale for the widening, this issue needs to be considered in the context of the detailed residential layout submitted under application WNN/2022/0806, which takes in the proposed primary road and has a direct interrelationship with the school and local centre site. To provide flexibility an amended plan is awaited identifying the relevant section of roadway where such widening could be accommodated if it is deemed necessary as part of application WNN/2022/0806.
- 8.8 The application is not seeking approval of details of 'landscaping' at this stage, which would cover the hard surfacing and soft landscaping of the proposed road, including tree planting within the grass verges. In any event, such details would be considered as part of application WNN/2022/0806 because that application includes landscaping details for this part of the development.
- 8.9 The Local Highway Authority has been consulted on the application and no concerns have been raised with the proposed road.
- 8.10 In summary, the proposed section of the primary road is considered acceptable.

Flood risk and drainage

- 8.11 The proposed drainage strategy is based upon the principles of sustainable drainage systems (SuDS). It involves the formation of three attenuation basins set within an area of open space in the northern part of the site. Surface water would be piped via gravity connection to the basins where it would then discharge to a watercourse within the SUE site (Wootton Brook) at a restricted rate, with the rate of discharge replicating the existing greenfield run-off rate.
- 8.12 The proposed drainage strategy also includes the diversion of an existing drain from the M1 that has been found to have an outfall to the SUE site. It is proposed to pick up this outfall and provide a direct discharge to the Wootton Brook. This is intended to relieve an existing local flooding issue that this drain may be causing/contributing to. The proposed drain is of a larger size than the existing to provide some additional capacity and reassurance that the diversion provides betterment and does not have a potential impact on the strategic road network.
- 8.13 The proposed drainage strategy is consistent with the flood risk assessment approved at outline stage as well as the overarching principles of the Design Code. The Lead Local Flood Authority has assessed the application and considers that the proposed drainage strategy is acceptable, subject to further detailed design information being secured by condition. Conditions are proposed to secure

arrangements for the future maintenance and management of the surface water drainage infrastructure and a condition requiring a verification report for the installation of the approved drainage system. In addition, a condition is recommended to ensure that future reserved matters applications on Phases 2 and 3 accord with the proposed drainage strategy.

- 8.14 The Environment Agency has not raised any concerns with the proposals and is in full support of the proposed diversion of the M1 drainage. National Highways has requested further information in respect of these works so that they can more fully consider any potential impact on the strategic road network. Additional information has been provided by the applicant and a response on this is awaited from National Highways. An update will be provided to the Strategic Planning Committee on this matter prior to the committee meeting.
- 8.15 The proposed foul drainage strategy is to connect to the existing Anglian Water sewer network at Collingtree Golf Course. Anglian Water have not raised any objections to the application. The detailed design of the foul drainage is to be agreed under condition 23 of the outline permission.
- 8.16 In conclusion, the overall drainage strategy is considered acceptable subject to conditions. The landscaping of the open space where the drainage basins are located would be considered under application WNN/2022/0806, which includes this area of open space.

Ecology

- 8.17 The application is supported by an updated Ecological Appraisal that covers Phase 2A of the development. It includes updated species surveys and provides an assessment of the ecological impacts of the proposed infrastructure works and recommendations for mitigation. The document also seeks to satisfy ecology related conditions on the outline permission.
- 8.18 The Ecological Appraisal concludes that the impacts of the proposals would be very limited and adequate compensation would be delivered through the open space and landscaping proposals for the wider SUE site. The Council's Ecology Advisor raises no objection to the application, and in general terms it is considered that there are no specific constraints to the proposed infrastructure works from an ecological perspective.
- 8.19 Condition 10 of the outline permission requires a Construction Environment Management Plan for each phase of development. The submission makes certain recommendations with regards to the ecological elements of condition 10, which are acceptable in principle, but these will need to be expanded upon and included as part of a full Construction Environment Management Plan, as detailed within the condition. Condition 10 cannot therefore be discharged through the current reserved matters application.
- 8.20 The proposed drainage works affect the Wootton Brook and the applicant's Ecological Appraisal recommends that a detailed otter mitigation strategy is prepared for this phase of the development, although this has not been provided at this stage. Condition 27 of the outline permission relates to the protection of otters and relevant information will need to be submitted by the developer to satisfy this condition.
- 8.21 The Ecological Appraisal includes information to address condition 28 of the outline permission, which requires an Ecological Construction Method Statement (ECMS)

relevant to each reserved matters submission. The Council's Ecology Advisor has indicated that the proposed measures are acceptable, pending post-development written confirmation that these measures were implemented. It is therefore considered that acceptable information has been provided in relation to condition 28 with respect to the development proposed within this reserved matters application. A condition is recommended requiring the proposed infrastructure development to be carried out in accordance with the submitted ECMS information and for the requested written confirmation to be provided.

- 8.22 The Ecological Appraisal also makes some high-level recommendations with regards to habitat creation connected with the proposed drainage basins and the wider site. This has been provided in the context of condition 29 of the outline permission (Landscaping and Ecological Management Plan). The level of information is not sufficient to satisfy the condition and detailed landscape proposals for Phases 2 and 3 will first need to be agreed under separate reserved matters applications.

Representations

- 8.23 Two representations have been received in response to the publicity of the application. Both raise issues with the highway/traffic impacts associated with the SUE development. The impact of the SUE on the highway network was considered at outline stage and as part of the Planning Inquiry and relevant highway mitigation measures were secured. It is beyond the scope of this application to revisit such issues and it is only the acceptability of the proposed infrastructure that falls to be considered. With regards, to the comment made in relation to the routing of construction traffic, this will be considered as part of the Construction Environmental Management Plan required for Phase 2 – but will be influenced by the delivery of the approved junction to Rowtree Road.

Other matters

- 8.24 The proposed development is not considered to give rise to any other planning issues that are not already covered by conditions on the outline permission.

9. FINANCIAL CONSIDERATIONS

- 9.1 Financial considerations are not relevant to this reserved matters application.

10. PLANNING BALANCE AND CONCLUSION

- 10.1 The proposed highway and drainage infrastructure is in line with the Masterplan and Design Code for the Northampton South SUE and the proposals are considered to be acceptable, subject to the conditions recommended within this appraisal and subject to the assessment of application WNN/2022/0806 for 425 dwellings within Phase 2.

11. RECOMMENDATION

- 11.1 **GRANT PERMISSION SUBJECT TO CONDITIONS** as set out below with delegated authority to the Assistant Director for Planning to approve any amendments to those conditions as deemed necessary.

Approved plans

1. The development hereby permitted shall be carried out in accordance with the following approved plans:

- 332210562_200.300_100 Rev A (General Arrangement)
- 332210562_200.300_101 Rev A (Visibility)
- 332210562_200.300_103 Rev A (Swept Paths Analysis – Sheet 1 of 2)
- 332210562_200.300_104 Rev A (Swept Paths Analysis – Sheet 2 of 2)
- 332210562_200.300_700 Rev A (Contours)
- 332210562_200.300_702 (Longitudinal Section)
- 332210562/200.300/500 Rev E (Drainage Strategy Sheet 1 of 2)
- 332210562/200.300/501 Rev E (Drainage Strategy Sheet 2 of 2)
- 332210562-200-330.502 (Drainage Construction Details)
- 332210562/200.300/503 (Drainage Strategy Catchment Plan)

Reason: For the avoidance of doubt and to accord with the terms of the planning application.

Surface water drainage design

2. Notwithstanding the submitted details, a detailed design for the proposed surface water drainage system, which is based on the submitted Foul Water and Surface Water Drainage Strategy prepared by Stantec (Ref: 332210562 Rev: C, Dated October 2022), shall be submitted to and approved in writing by the Local Planning Authority before development on Phase 2A commences. The scheme shall subsequently be implemented in accordance with the approved details before the development is completed. The scheme shall include:
 - i) Details (designs, diameters, invert and cover levels, gradients, dimensions etc) of all elements of the proposed drainage system, to include pipes, inspection chambers, outfalls/inlets, and attenuation structures.
 - ii) Details of the drainage system shall be accompanied by full and appropriately cross-referenced supporting calculations which will include a 10% allowance for urban creep.
 - iii) Cross sections of the control chambers (including site specific levels mAOD) and manufacturers' hydraulic curves for all hydro brakes and other flow control devices.
 - iv) Detailed scheme for the ownership and scheduled maintenance for every element of the surface water drainage system.
 - v) Confirmation of site-specific soil conditions.

Reason: To prevent the increased risk of flooding, both on and off site, by ensuring the satisfactory means of surface water attenuation and discharge from the site, and to accord with Policies BN7A, BN7 and N5 of the West Northamptonshire Joint Core Strategy, Policy 7 of the emerging Local Plan Part 2 and guidance in the National Planning Policy Framework. This is a pre-commencement condition to ensure timely submission of details.

Maintenance of surface water drainage

3. A detailed scheme for the ownership and maintenance for every element of the surface water drainage system as approved pursuant to condition 3 shall be submitted to and approved in writing by the Local Planning Authority before any development within Phase 2 or 3 is first occupied/brought into use. The maintenance plan shall be carried out in full thereafter. The scheme shall include:

- i) Details of the organisation or body who will be the main maintaining body where the area is multifunctional (e.g., open space play areas containing SuDS) with evidence that the organisation/body has agreed to such adoption.
- ii) A maintenance schedule setting out which assets need to be maintained, at what intervals and what method is to be used.
- iii) A site plan including access points, maintenance access easements and outfalls.
- iv) Maintenance operational areas to be identified and shown on the plans, to ensure there is room to gain access to the asset, maintain it with appropriate plant and then handle any arisings generated from the site.
- v) Details of expected design life of all assets with a schedule of when replacement assets may be required.

Reason: In order to ensure that the drainage systems associated with the development will be maintained appropriately and in perpetuity, to reduce the risk of flooding due to failure of the drainage system. This is to accord with Policies BN7A, BN7 and N5 of the West Northamptonshire Joint Core Strategy, Policy 7 of the emerging Local Plan 2 and guidance in the National Planning Policy Framework.

Verification report for surface water drainage

4. No development within Phase 2 or 3 shall be occupied/brought into use until a Verification Report for the installed surface water drainage system as approved pursuant to condition 3 has been submitted in writing by a suitably qualified drainage engineer and approved in writing by the Local Planning Authority. The report shall include:
 - a) Any departure from the agreed design is keeping with the approved principles
 - b) Any As-Built Drawings and accompanying photos
 - c) Results of any Performance testing undertaken as a part of the application process (if required / necessary)
 - d) Copies of any Statutory Approvals, such as Land Drainage Consent for Discharges etc.
 - e) CCTV Confirmation that the surface water drainage system is free from defects, damage and foreign objects
 - f) Confirmation of adoption or maintenance agreement for all SUDS elements as detailed within the drainage strategy is in place.

Reason: To ensure the installed Surface Water Drainage System is satisfactory and in accordance with the approved reports and details for the development site. This is to accord with Policies BN7A, BN7 and N5 of the West Northamptonshire Joint Core Strategy, Policy 7 of the emerging Local Plan Part 2 and guidance in the National Planning Policy Framework.

Drainage for future reserved matters submissions

5. All subsequent reserved matters applications for development within Phases 2 and 3 of the Northampton South Sustainable Urban Extension shall be designed in accordance with the Foul Water and Surface Water Drainage Strategy prepared by Stantec (Ref: 332210562 Rev: C, Dated October 2022) and the detailed drainage design approved pursuant to condition 3 of this permission. An accompanying revised and updated Flood Risk Assessment with full drainage details shall be submitted with each future reserved matters application on Phases 2 and 3, indicating whether any further works are required. Development shall be implemented in accordance with the approved drainage scheme, or any updated scheme as approved in writing by the Local Planning Authority pursuant to that application.

Reason: To ensure that future development within Phases 2 and 3 is consistent with the approved drainage strategy in the interests of preventing the increased risk of flooding, both on and off site, by ensuring the satisfactory means of surface water attenuation and discharge from the site, and to accord with Policies BN7A, BN7 and N5 of the West Northamptonshire Joint Core Strategy, Policy 7 of the emerging Local Plan Part 2 and guidance in the National Planning Policy Framework. This is a pre-commencement condition to ensure timely submission of details.

Ecological Construction Method Statement

6. The development hereby permitted shall be carried out in accordance with the recommendations within chapter 7 (Ecological Construction Method Statement) of the Phase 2a Update Ecological Appraisal and Condition Discharge Report prepared by BSG Ecology (Ref P21-135, March 28th 2022). Following completion of the development hereby approved, written confirmation from a qualified ecologist that the measures detailed within chapter 7 were implemented in accordance with the requirements of this condition shall be submitted to the Local Planning Authority.

Reason: In the interests of biodiversity and to accord with Policy BN2 of the West Northamptonshire Joint Core Strategy, Policy 29A of the Northampton Local Plan Part and guidance in the National Planning Policy Framework.
